

Calderdale Local Plan 2018/19 – 2032/33

Appendix 1

Site Allocations – Supporting Information



March 2023

Introduction

1 Introduction	3
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Employment Allocations

2 Brighouse Employment Allocations	13
3 Elland Employment Allocations	19
4 Halifax Employment Allocations	28
5 Mytholmroyd Employment Allocations	43
6 Ripponden Employment Allocations	45
7 Sowerby Bridge Employment Allocations	46

Mixed Use Allocations

8 Brighouse Mixed Use Allocations	47
9 Elland Mixed Use Allocations	50
10 Halifax Mixed Use Allocations	53
11 Hebden Bridge Mixed Use Allocations	61

Housing Allocations

12 Brighouse Housing Allocations	63
13 Brighouse Garden Suburbs	93
14 Elland Housing Allocations	98
15 Halifax Housing Allocations	114
16 Hebden Bridge Housing Allocations	172
17 Mytholmroyd Housing Allocations	176
18 Northowram and Shelf Housing Allocations	184
19 Ripponden Housing Allocations	200
20 Sowerby Bridge Housing Allocations	206
21 Todmorden Housing Allocations	218

Minerals Sites

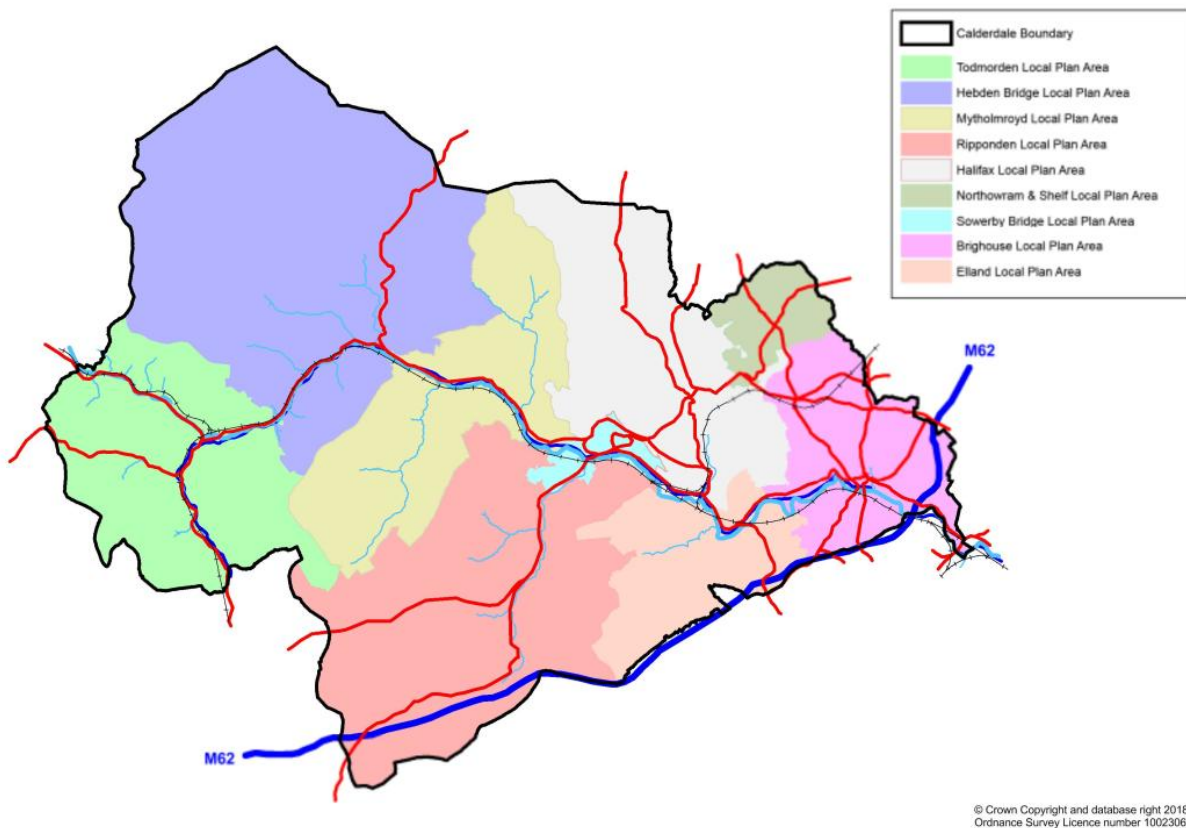
22 Minerals Sites	234
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Waste Sites

23 Waste Sites	236
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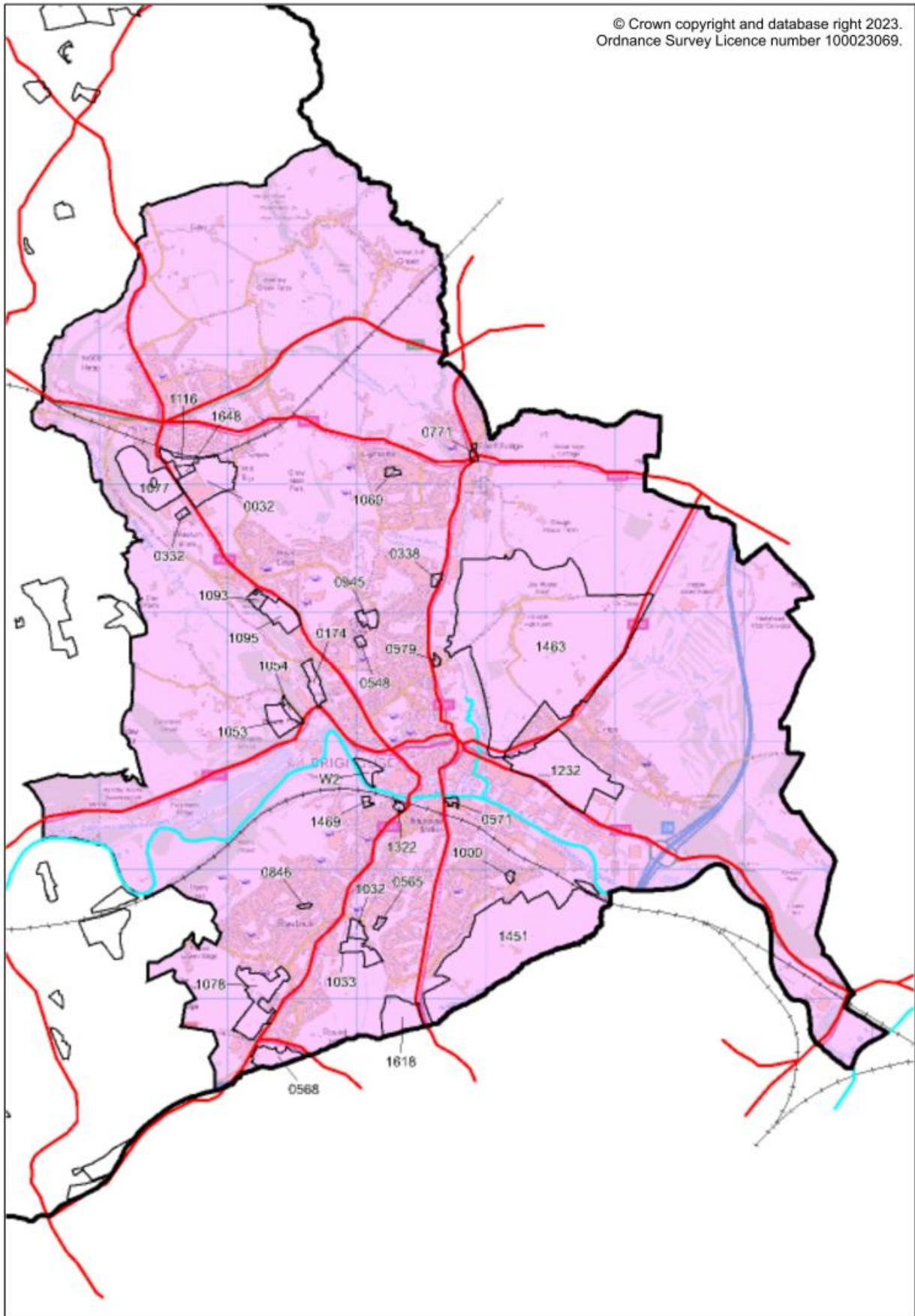
1.1 This document expands on the information about the land allocations in Policies SD4 (Employment), SD5 (Mixed Use) and SD6 (Housing) of the Local Plan and is intended to assist developers in formulating detailed proposals to bring sites forward. The document also includes supporting information on Minerals and Waste Allocations (Policy MS5 and WA2). The sites are listed both by allocation type and the nine Local Plan Areas. Map 1.1 is a key map showing all of the Local Plan Areas with Maps 1.2 to 1.10 showing the land allocations within the individual Local Plan Areas. Each site schedule is accompanied by a site plan showing both the site boundary and the indicative developable area which is based on constraints identified from the site assessment. **The lists of reports required and site specific considerations direct those wishing to bring schemes forward to the most relevant issues to be addressed. These lists are not exclusive and other matters may arise at the detailed planning stage in accordance with Local Plan policy and Local List requirements, such as an Air Quality Assessment which will be required on most Local Plan allocations.** Similarly, the developable areas as well as the site capacities are indicative and may be subject to changes based on the evidence provided at the planning application stage and when actual development schemes are drawn up.

Map 1.1 Calderdale Local Plan Areas

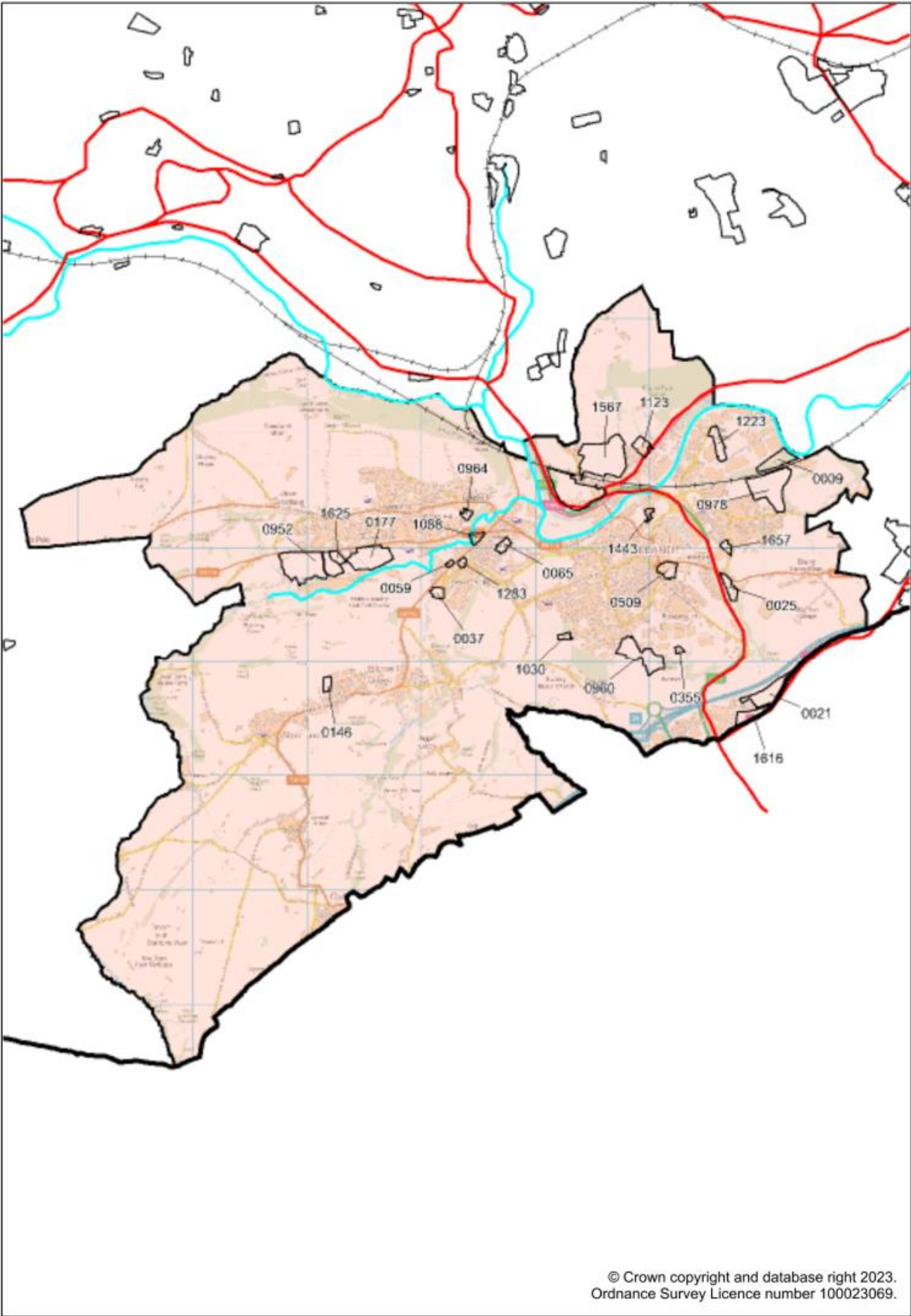


1 Introduction

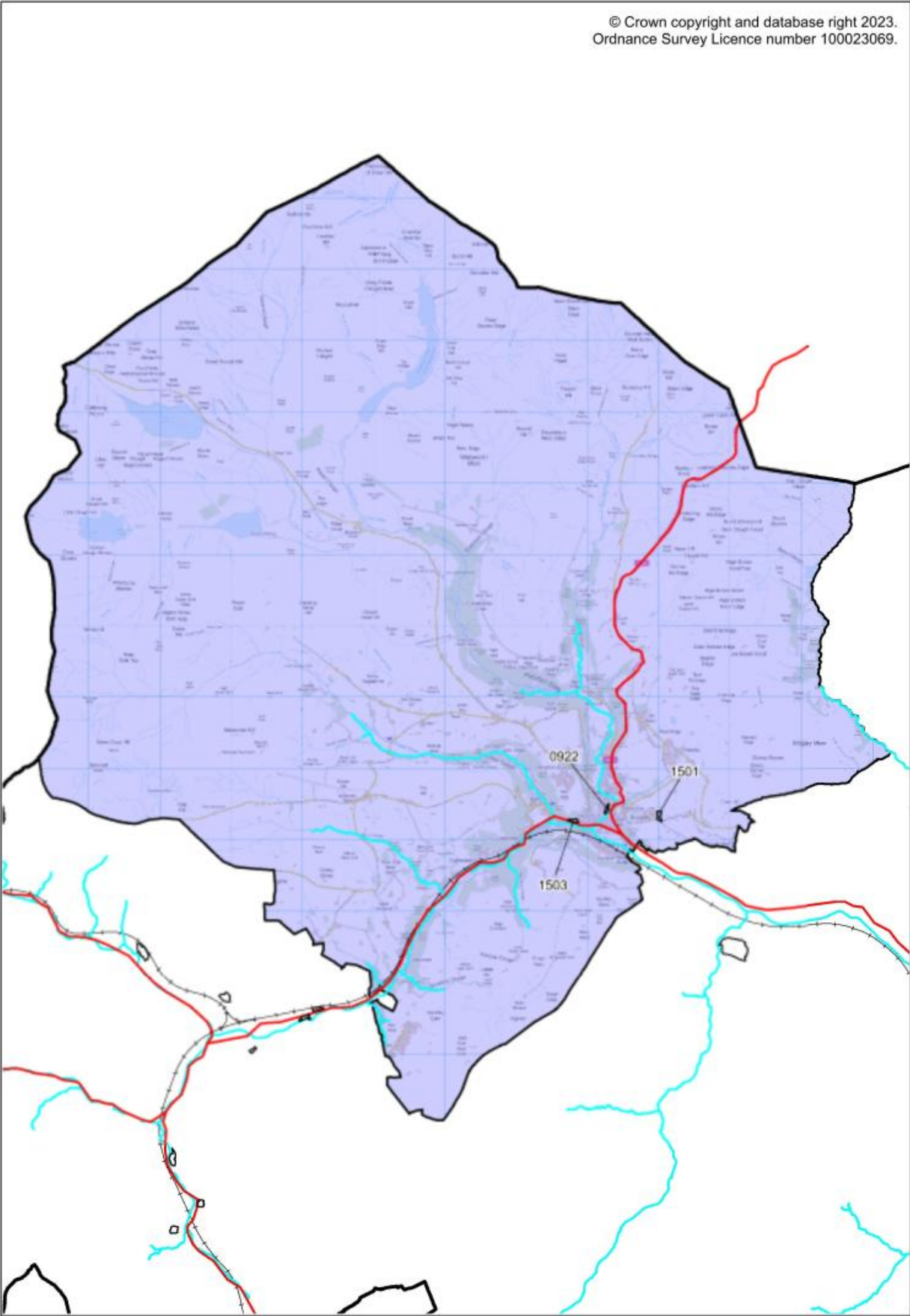
Map 1.2 Brighouse Local Plan Area



Map 1.3 Elland Local Plan Area

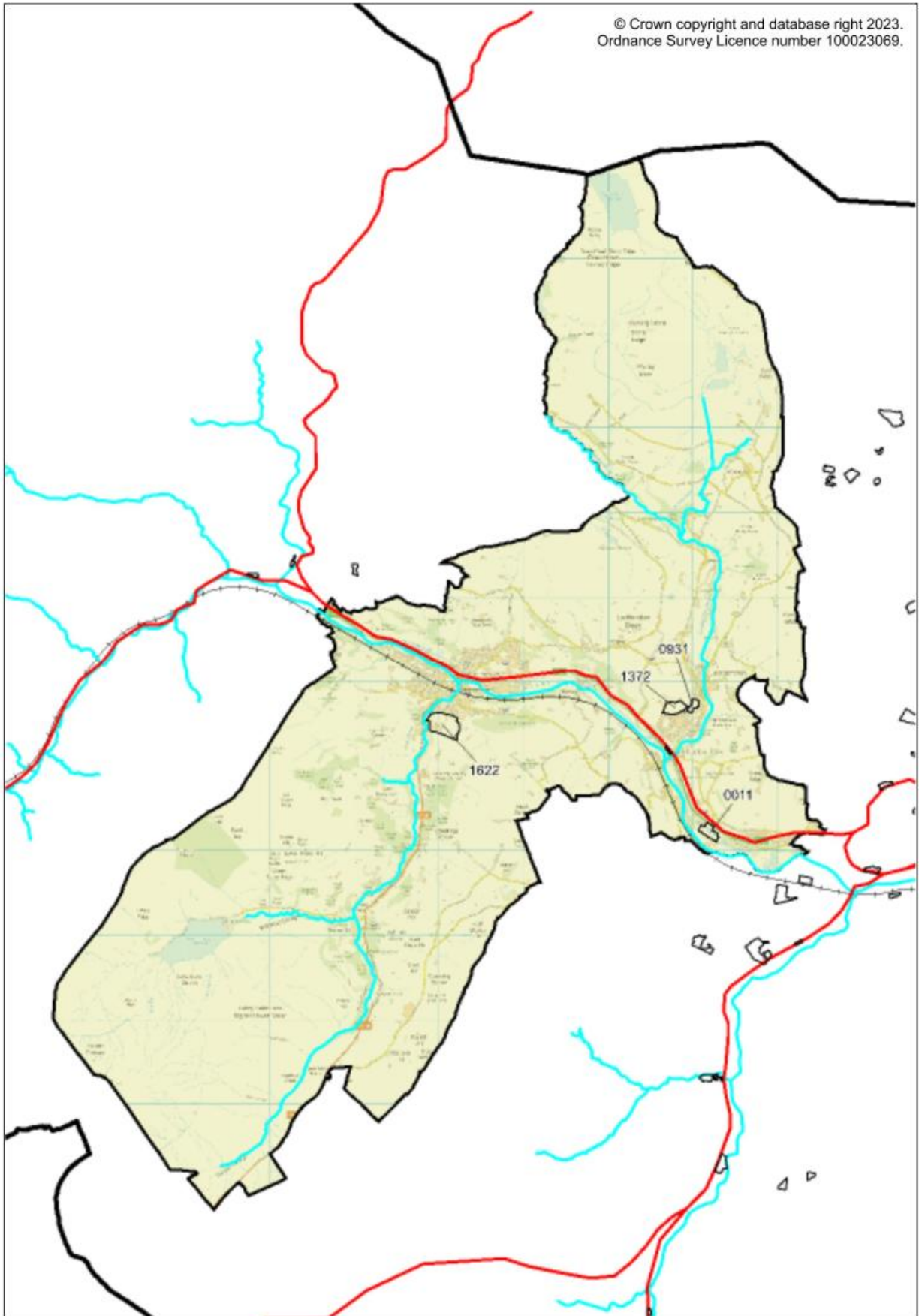


Map 1.5 Hebden Bridge Local Plan Area



1 Introduction

Map 1.6 Mytholmroyd Local Plan Area

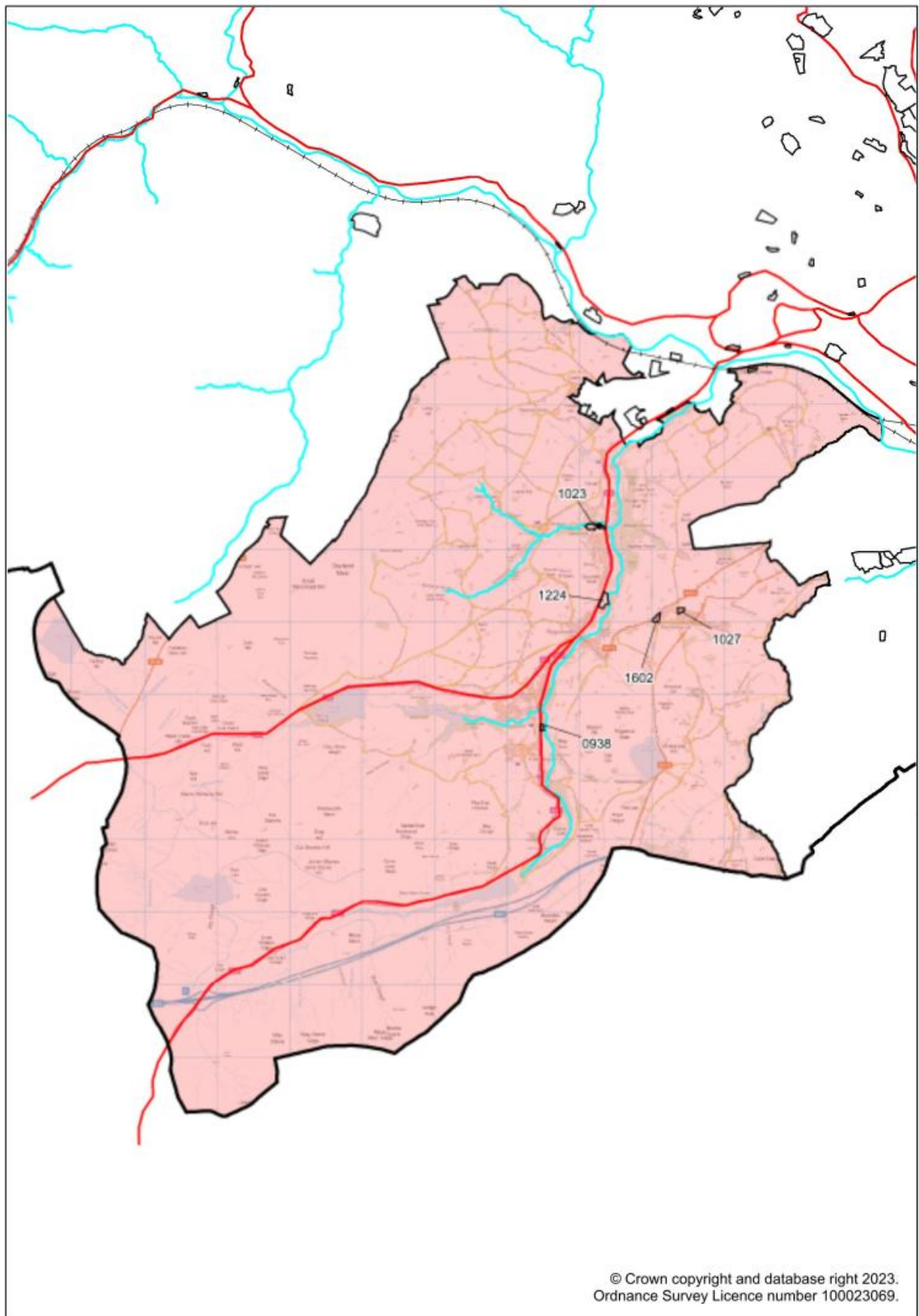


Map 1.7 Northowram & Shelf Local Plan Area

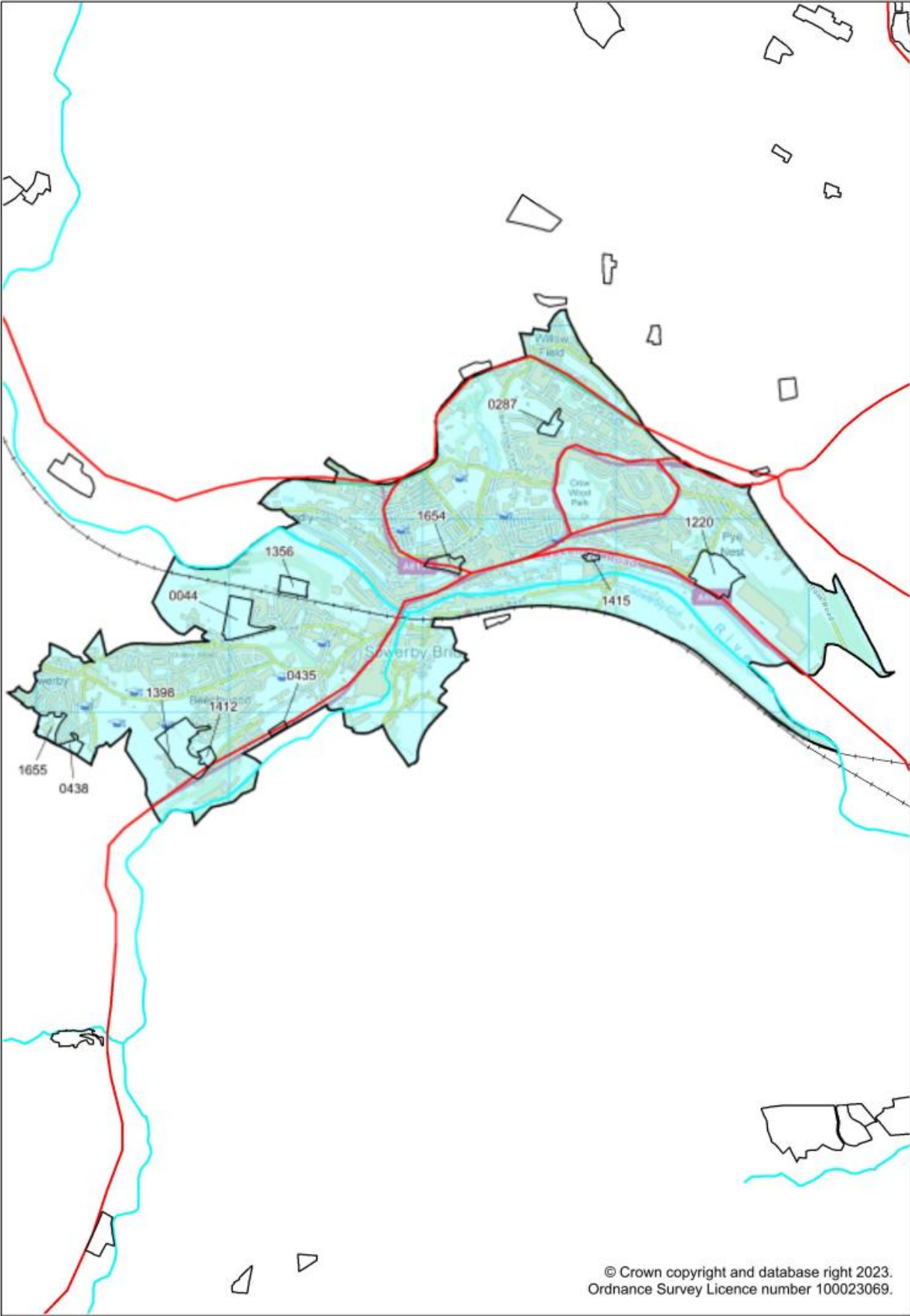


1 Introduction

Map 1.8 Ripponden Local Plan Area

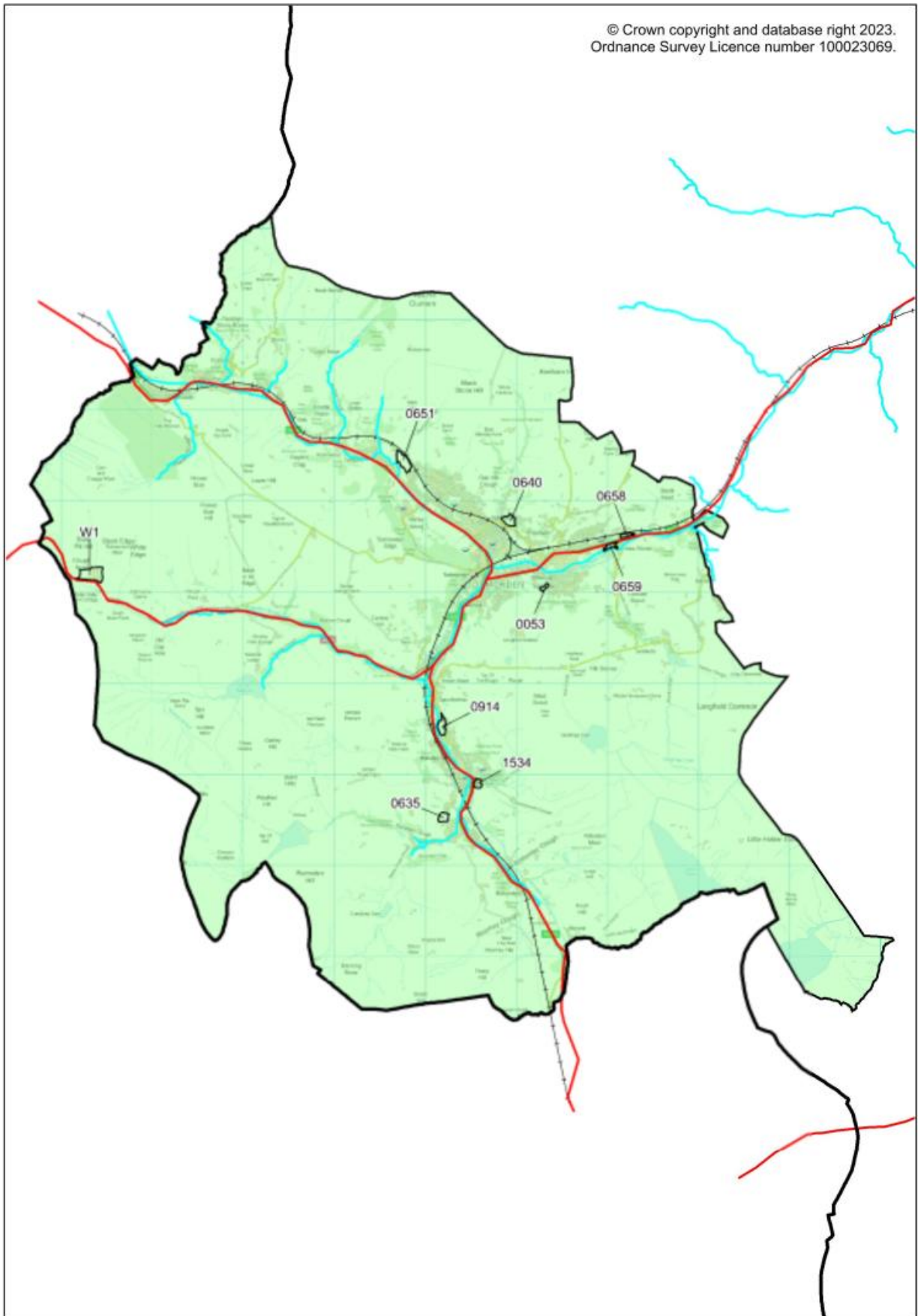


Map 1.9 Sowerby Bridge Local Plan Area



1 Introduction

Map 1.10 Todmorden Local Plan Area



2 Brighouse Employment Allocations

Site number LP0332

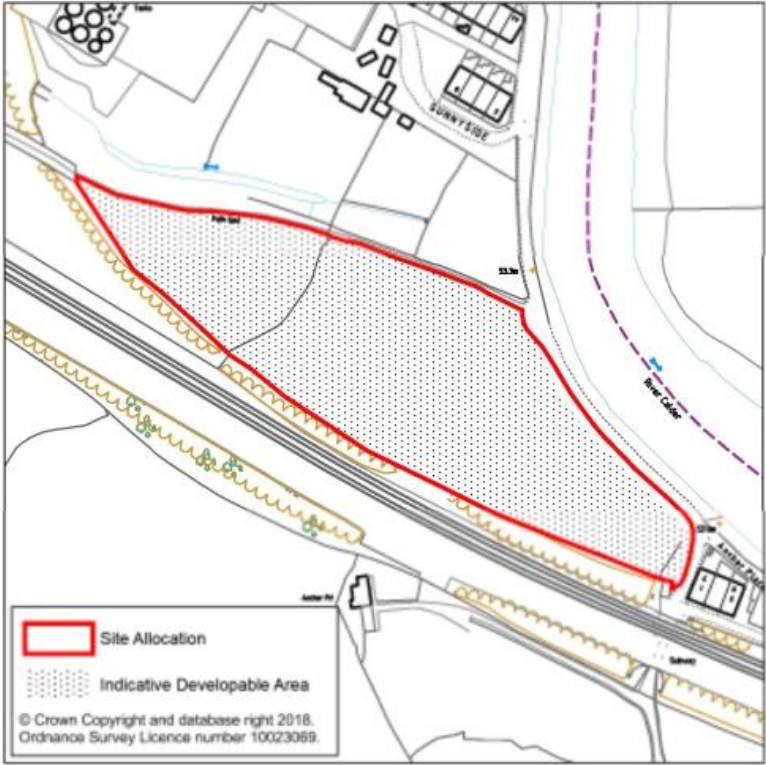
Brow Mills Industrial Estate, Brighouse Road, Hipperholme

Site area (Ha)	0.52	
Indicative developable site area	0.52	
Total Employment floorspace (sq m)	1,836	
Appropriate uses	E(giii), B2	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access - Possible requirement of third party land - Proximity to residential properties 	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing drainage network, including historical assessment of any surface water flooding - Transport Statement - Access Design including widening of Broad Oak Lane - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Noise mitigation - Possible road widening - Retain any remaining native trees and shrubs on boundaries - Plant locally native species rich hedgerow on the south east boundary 	

2 Brighouse Employment Allocations

Site number LP0585

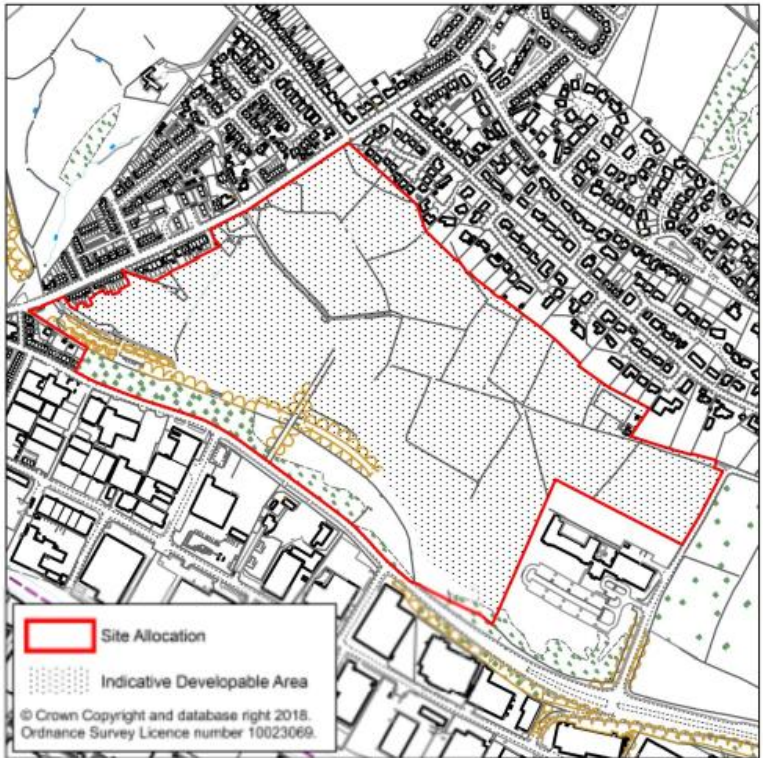
Land west of Anchor Place, Brighouse

Site area (Ha)	0.82	
Indicative developable site area	0.80	
Total Employment floorspace (sq m)	2,800	
Appropriate uses	E(giii)	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding - UK Biodiversity Action Plan priority habitat - Grade II listed structure in proximity (Anchor Pit Lock) - Overhead power lines 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment including Hydrological Assessment - Transport Statement and Access Design 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Provision of 10m stand off to the river - Highway improvements to Birds Royd Lane - extension and provision of turning head 	

2 Brighouse Employment Allocations

Site number LP1232

[Land at Wakefield Road/Clifton Common, Clifton, Brighouse](#)

Site area (Ha)	25.33	
Indicative developable site area	21.27	
Total Employment floorspace (sq m)	45,789	
Appropriate uses	E(g), B2, B8 uses	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Topography - Potential surface water flood risk - Potential to contain archaeological remains (PRN3503) - UK BAP priority habitat - Alegar Bank Wood - Lowland Mixed deciduous woodland - Wildlife Habitat Network - disused railway corridor - Potential land contamination - Potential air quality impact - Tree Preservation Orders - Public Right of Way (Brighouse 135) - History of coal mining on the site - Potential Protected Species (bats) on site 	

2 Brighouse Employment Allocations

<p>Reports required</p>	<ul style="list-style-type: none"> - Surface water/drainage network assessment and historical analysis of Henshaw Drain - Flood Risk Assessment - Predetermination Archaeological Evaluation - Strategic Transport Assessment - Detailed traffic modelling at specified junctions and demonstration of accessibility by non-car modes. - Preliminary Ecological Appraisal - Ecological Impact Assessment and Ecological Management Plan - Contaminated Land Assessment - Air Quality Assessment - Protected Species Survey - Phase 1 Habitat Survey - Ecological Record Search - Tree Survey
<p>Site Specific Considerations</p>	<ul style="list-style-type: none"> - Mitigation of impact on Strategic Road Network as identified by WYCA/Calderdale (see also West Yorkshire Infrastructure Study) - Mitigation for land drainage could be secured through green and blue infrastructure on site such as SuDS and green roofs to reduce the infiltration rate, and provision for storage of storm water run-off - Retain deciduous woodland (Calderdale Wildlife Habitat Network), and provide for biodiversity enhancement and maintenance (Wildlife Habitat Network) - Consideration of guidance in West Yorkshire Low Emissions Strategy is required - Ensure the retention of a strong and defensible boundary between the allocation for employment and the Green Belt - Plant species rich hedgerows on all site boundaries - Landscaping of the site to mitigate impact on neighbouring residential properties, to include retention of existing trees and additional tree and hedgerow planting, supported by a Landscape Infrastructure Strategy, a Landscape Management Plan and a Woodland Management Plan - Site requires masterplanning in accordance with Policy IM7.

2 Brighouse Employment Allocations

Site number LP1618

Land west of Huddersfield Road, Brighouse

Site area (Ha)	7.39	
Indicative developable site area	4.81	
Total Employment floorspace (sq m)	15,000	
Appropriate uses	B2, B8	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water flooding - Wildlife Habitat Network to the west of the site - Proximity to Listed Building (Toothill Court) - Class III Archaeological Site (PRN 3545) - Possible land contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation (drainage) - Land Contamination Report 	

2 Brighouse Employment Allocations

Site Specific Considerations

- Provision of SuDS
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Any access across the site should ensure that major harm is not caused to the setting of the listed building. Consideration should be had to appropriate positioning, landscaping, boundary treatment and planting (including retention of trees) in this regard
- Proposals should demonstrate how design and layout of the development will not cause undue prominence within the landscape including use of materials and restrictions in scale and height where necessary. This should include details of retention and enhancement of the existing screening
- Design and layout should ensure that no buildings or structures, including the access road, are visible from the listed buildings
- Boundaries to be planted with species rich hedgerows
- Strong and defensible boundary between the site and the Green Belt will be required
- High quality design and layout
- Refer to West Yorkshire Low Emission Strategy to mitigate for potential impact on Air Quality
- Tree belt to the north western boundary to be retained
- Site requires masterplanning in accordance with Policy IM7

3 Elland Employment Allocations

Site number LP0009

Land to the south of premises on Lowfields Way, Elland

Site area (Ha)	3.08	
Indicative developable site area	2.88	
Total Employment floorspace (sq m)	10,615	
Appropriate uses	E(giii), B2, B8	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential fluvial and surface water flooding (Shaw Drain and Lodge Drive drain, and River Calder) - Site is in three ownerships, and part of the site may not be available for development - UK BAP Priority habitat on site - Deciduous woodland - Wildlife Habitat Network - Possible land contamination - Proximity to railway line - Power line crosses the site 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation (drainage) - Hydrological Assessment - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS and green and blue infrastructure - Defence lines, and Flood resilience and resistance - Realignment of retaining wall of the adjacent area of the development - Exclude development within a 20m buffer to the river, and 10m buffer to the railway line to reduce any impact on BAP and Wildlife Habitat Network - Consult with Calder Rivers Trust on development proposals - Avoid massing and height of buildings which increase the level of shade over the river - Possible land remediation 	

3 Elland Employment Allocations

Site number LP0021

Land at Ainley Top, Brighouse Road, Ainley Top, Elland

Site area (Ha)	4.58	
Indicative developable site area	3.05	
Total Employment floorspace (sq m)	12,120	
Appropriate uses	E(giii), B2	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding - Wildlife Habitat Network - Proximity to and setting of listed buildings in Kirklees (Fixby Park Lodge and Gates, Castle Hill) - Archaeology (PRN3904) - Proximity to Gernhill Wood Ancient Woodland. - AQMA (Kirklees) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, and Hydrological Assessment - Archaeological Evaluation - Noise Assessment - Air Quality Impact Assessment 	

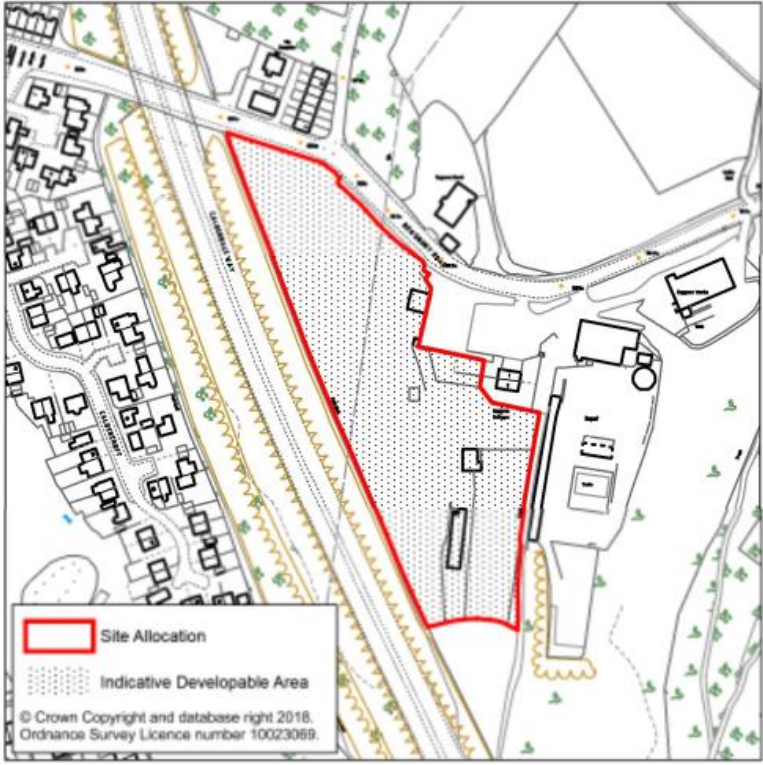
3 Elland Employment Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Localised widening and realignment of drainage network- Provision of SuDS- Good quality design and layout- M62 J24 junction improvements to signalling and visibility splay at the New Hey Road / Brighthouse Road junction required- Retention of woodland with 10m buffer planted with native wild flowers- Planting of species rich hedgerows on boundaries and between boundary and copse- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting- The southern part of the site should be kept free of built development in line with the Heritage Impact Assessment- An access road may be appropriate across the area of high sensitivity, subject to suitable design and layout- Any subsequent Heritage Impact Assessment work should have close regard to views of the ridgeline from Castle Hill Scheduled Monument and the need for sensitive design and layout and building heights in order to satisfactorily mitigate harm to designated heritage assets- Development should respect the landscape setting and historic character of the mound adjoining the indicative developable area- Predetermination Archaeological Evaluation- Mitigation for impact any significant increase in noise- Consideration of guidance in the West Yorkshire Low Emission Strategy- Retention of a strong and defensible boundary between the development and the Green Belt- Site requires masterplanning in accordance with Policy IM7
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3 Elland Employment Allocations

Site number LP0025

Land to the south of Dewsbury Road, adj. Copperas Cottages, Elland

Site area (Ha)	1.66	
Indicative developable site area	1.66	
Total Employment floorspace (sq m)	5,804	
Appropriate uses	B2, B8	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Power lines cross the site - Potential surface water flood risk 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Analysis of historical surface water flooding - Transport Assessment with access design details and topographical survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Retention of a strong and defensible boundary between the allocation and the Green Belt 	

3 Elland Employment Allocations

Site number LP0059


Land to west of Medical Centre, Stainland Road, West Vale, Elland

Site area (Ha)	0.27	
Indicative developable site area	0.27	
Total Employment floorspace (sq m)	1,080	
Appropriate uses	E(gi)	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access rights over third party land for site access - Owners intentions are currently unknown 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Assessment of existing surface water drainage network - Access Design and Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS 	

3 Elland Employment Allocations

Site number LP0355

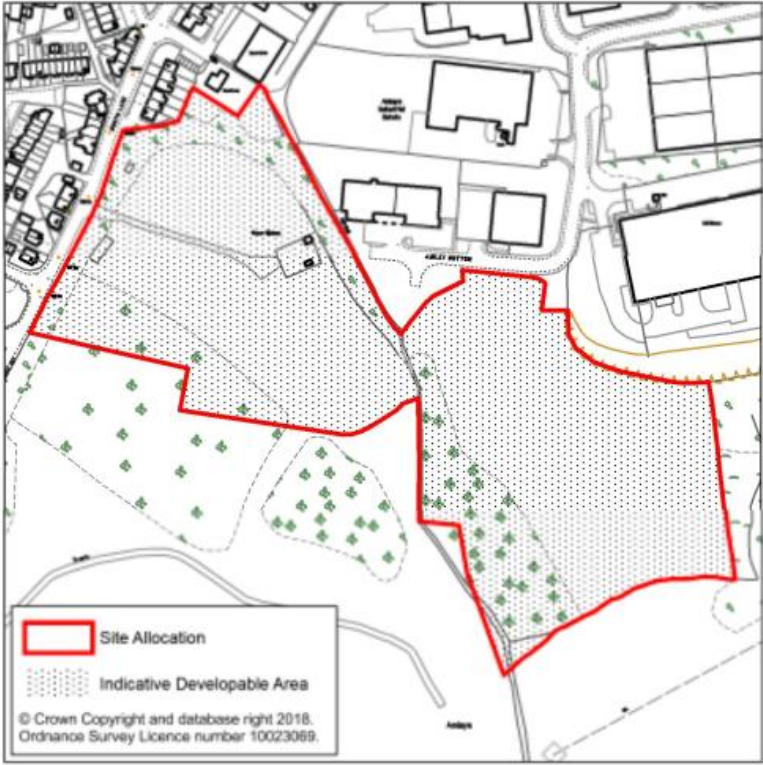
Ainleys Industrial Estate, Ainley Bottom, Elland

Site area (Ha)	0.33	
Indicative developable site area	0.33	
Total Employment floorspace (sq m)	1,156	
Appropriate uses	E(giii), B2	
Land type	Greenfield	
Ownership	Private	
Constraints	- Public Right of Way (Elland 024) follows the western side of the site boundary	
Reports required	<ul style="list-style-type: none"> - Site investigation and evaluation of existing drainage network - Transport Statement and Access Design 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Financial contribution may be required towards mitigation measures at Ainley Top - Creation of a strong and defensible boundary between the allocation and the Green Belt 	

3 Elland Employment Allocations

Site number LP0960

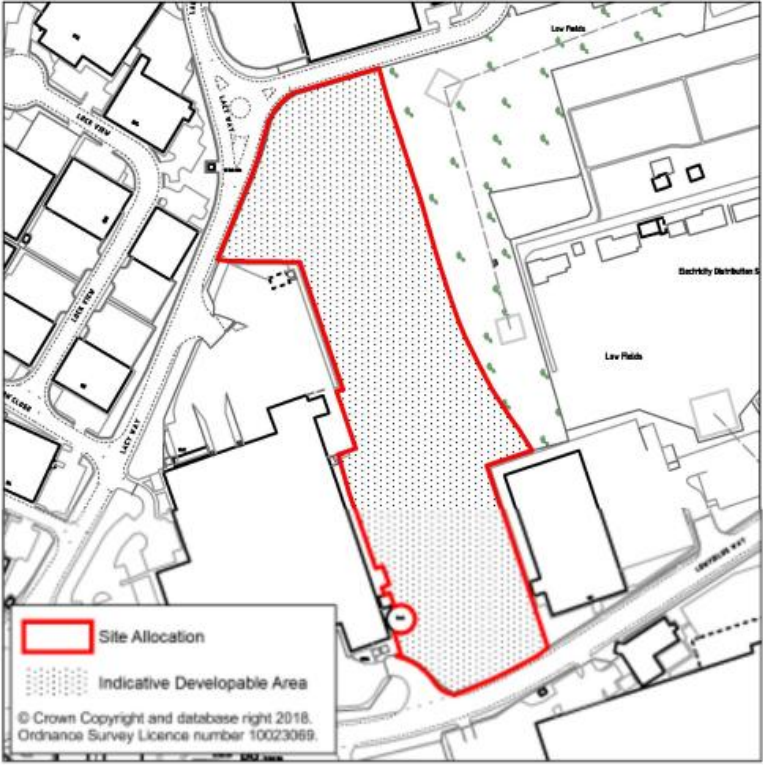
Land off South Lane, Elland

Site area (Ha)	5.86	
Indicative developable site area	5.86	
Total Employment floorspace (sq m)	20,511	
Appropriate uses	E(giii), B2, B8	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for surface water flooding - UK BAP Priority habitat on site - Deciduous woodland - Wildlife Habitat Network - Archaeology – (PRN12154) - Horncliffe Quarry Landfill 	
Reports required	<ul style="list-style-type: none"> - Site investigation and assessment of surface water drainage network and historical data - Flood Risk Assessment - Site investigation (flooding) - Transport Assessment/Travel Plan and Junction Design and Mitigation Assessment - Preliminary Ecological Appraisal - Ecological Impact Assessment and associated Protected Species Survey - Predetermination Archaeological Evaluation - Noise Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Good quality design and layout, including junction design - Noise mitigation - Mitigation measures to protect Wildlife Habitat Network - Site requires masterplanning in accordance with Policy IM7 	

3 Elland Employment Allocations

Site number LP1223

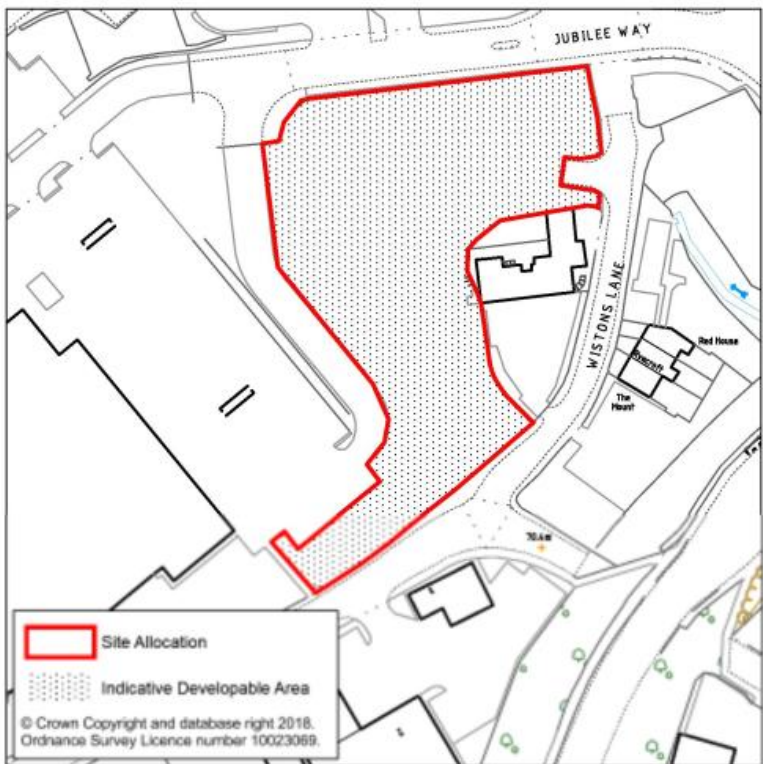
[Lowfields, Lacy Way, Elland](#)

Site area (Ha)	2.26	
Indicative developable site area	2.26	
Total Employment floorspace (sq m)	7,911	
Appropriate uses	E(giii), B2, B8	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential land contamination - Multiple ownership - Overhead power lines - Potential fluvial flood risk 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation (drainage) - Assessment of surface water drainage network - Transport Assessment must include a capacity assessment of A629 / Elland Riorges Link - Land Contamination Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Possible provision of SuDS - Junction improvements - Possible land remediation 	

3 Elland Employment Allocations

Site number LP1443

Land between Wistons Lane and Jubilee Way, Elland

Site area (Ha)	0.50	
Indicative developable site area	0.50	
Total Employment floorspace (sq m)	1,756	
Appropriate uses	E(giii)	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential land contamination - Multiple ownership - Overhead power lines 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation - Land contamination report - Assessment of surface water drainage network - Transport Assessment must include a capacity assessment of A629 / Elland Riorges Link 	
Site Specific Considerations	<ul style="list-style-type: none"> - Possible provision of SuDS - Junction improvements - Good layout and design 	

4 Halifax Employment Allocations

Site number LP0105

Land at Listers Road, Shibden, Halifax

Site area (Ha)	0.29	
Indicative developable site area	0.29	
Total Employment floorspace (sq m)	1,038	
Appropriate uses	B2	
Land type	Greenfield	
Ownership	Private / Public	
Constraints	<ul style="list-style-type: none"> - Potential for surface water flooding - Site is located in close proximity to Regionally Important Geological or Geomorphological Site Beacon Hill and Godley Lane 	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing drainage network - Access Design and Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Possible inclusion of buffer to northern boundary to cutting - Good quality design and layout - Consultation with West Yorkshire Geology Trust - Provide suitable access to view geological feature 	

4 Halifax Employment Allocations

Site number LP0409

Land off Bob Lane/Hubert Street, Highroad Well, Halifax

Site area (Ha)	0.71	
Indicative developable site area	0.71	
Total Employment floorspace (sq m)	2,135	
Appropriate uses	E(giii)	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flood risk - Junction improvements - Access may require third party land 	
Reports required	<ul style="list-style-type: none"> - Evaluation of the existing surface water drainage network including Hydrological Assessment - Transport Statement and Access junction design required together with assessment of junctions of Gibbet Street / Warley Road and Warley Road / A646 	
Site Specific Considerations	<ul style="list-style-type: none"> - Mitigation for noise and air quality impacts - Junction improvements 	

4 Halifax Employment Allocations

Site number LP0472

Land off Lilly Lane, Halifax

Site area (Ha)	0.78	
Indicative developable site area	0.62	
Total Employment floorspace (sq m)	2,135	
Appropriate uses	B2	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible fluvial and surface water flooding - Width of bridge - Class III Archaeological site PRN5785 - Site of Lilly Lane Baths 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment of the water courses - Site investigations (drainage) - Hydrological Assessment for surface water drainage network - Transport Statement and access design including bridge over Hebble Brook 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Defence line of the water courses and flood resilience & resistance - Bridge over Waterside (Hebble Brook) would need widening to accommodate development traffic and provide access - Retain 10m buffer to Hebble Brook - Design of layout should minimise light and other disturbance to Hebble Brook - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Regeneration objectives 	

4 Halifax Employment Allocations

Site number LP0805

Holmfield railway line, Holdsworth Road, Holmfield

Site area (Ha)	1.40	
Indicative developable site area	1.40	
Total Employment floorspace (sq m)	4,760	
Appropriate uses	B2, B8	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential fluvial and surface water flooding - Over head power lines cross the site - Possible land contamination - Public Right of way (Halifax 0249) - UK BAP priority habitat - Strines Beck (boundary of the district) - Wildlife Habitat Network 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment of water courses including Hydrological Survey - Assessment of existing surface water drainage network - Land Contamination Report - Habitat and Landscape Management Plan 	
Site Specific Considerations	<ul style="list-style-type: none"> - Green and blue infrastructure on site such as SuDS and green roofs - Defence line of the water courses and flood resilience & resistance - Land contamination remediation - Implementation of Habitat and Landscape Management Plan, to include measures to deculvert Strines Beck and provide a planted 5m buffer. Details to be agreed at planning application stage, as likely to include land outside Calderdale boundary. - Tree planting on the south eastern boundary of site 	

4 Halifax Employment Allocations

Site number LP0976

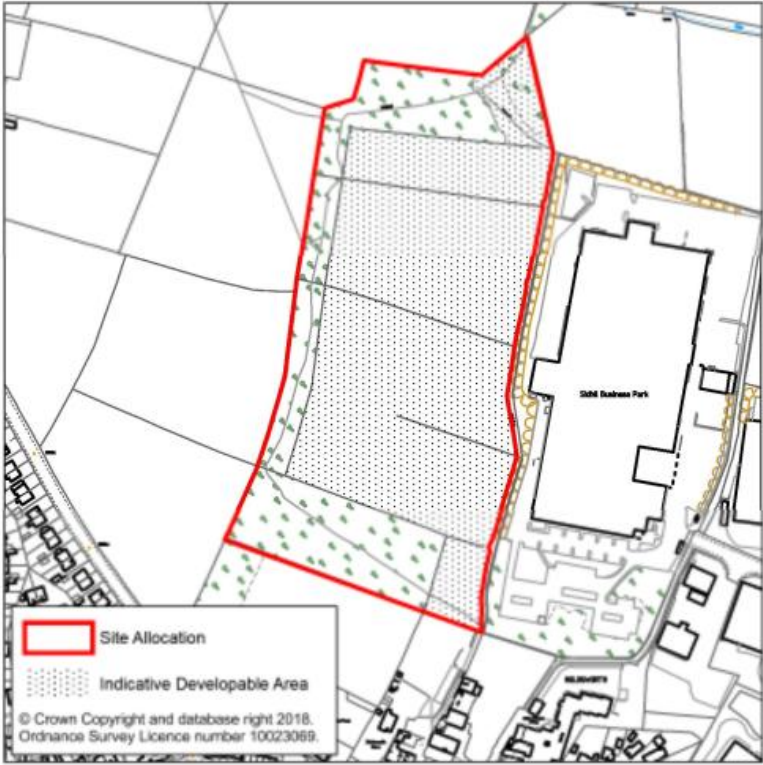
Clarence Mill, Pellon Lane, Halifax

Site area (Ha)	0.43	
Indicative developable site area	0.43	
Total Employment floorspace (sq m)	1,506	
Appropriate uses	E(giii), B2	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding - Possible land contamination - Archaeology PRN6521 	
Reports required	<ul style="list-style-type: none"> - Site investigation (drainage) - Evaluation of existing surface water drainage network - Predetermination Archaeological Evaluation - Land Contamination Report - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Land remediation - Mitigation for potential noise and odour 	

4 Halifax Employment Allocations

Site number LP1018

West of Holmfield Industrial Estate, Riley Lane & Holdsworth Road, Holmfield

Site area (Ha)	6.08	
Indicative developable site area	4.30	
Total Employment floorspace (sq m)	15,086	
Appropriate uses	E(giii), B2, B8	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding - Access dependent on other sites coming forward - UK BAP priority habitat - Proximity to listed buildings (Holdsworth House - Grade II* and Holdsworth Farm - Grade II) - Right of Way (Halifax 245 and Halifax 246) 	
Reports required	<ul style="list-style-type: none"> - Site investigation (drainage) - Flood Risk Assessment - Transport Assessment and Travel Plan 	
Site Specific Considerations	<ul style="list-style-type: none"> - Access design - Provision of SuDS - Exclude woodland from development area - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - The southern part of the site should be kept free of built development in line with the Heritage Impact Assessment. - Comprehensive and good quality design and layout - Refer to guidance in West Yorkshire Low Emission Strategy for air quality mitigation - Site requires masterplanning in accordance with Policy IM7 	

4 Halifax Employment Allocations

Site number LP1133

Land off Sedbergh Road and Siddal New Road, Halifax

Site area (Ha)	4.35	
Indicative developable site area	2.86	
Total Employment floorspace (sq m)	9,978	
Appropriate uses	E(giii), B2	
Land type	Brownfield	
Ownership	Private / Public	
Constraints	<ul style="list-style-type: none"> - Pipelines - Potential risk of fluvial and surface water flooding - Listed buildings in the vicinity (Shaw Mills, Stoney Royd) - UK Biodiversity Action Plan priority habitat. - Archaeology PRN12057 - Possible land contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigations (drainage) - Transport Assessment and Travel Plan - Survey of culvert to identify any impact on ecology or habitats - Land Contamination Report - Possible archaeological recording in advance of development. - Noise assessment 	

4 Halifax Employment Allocations

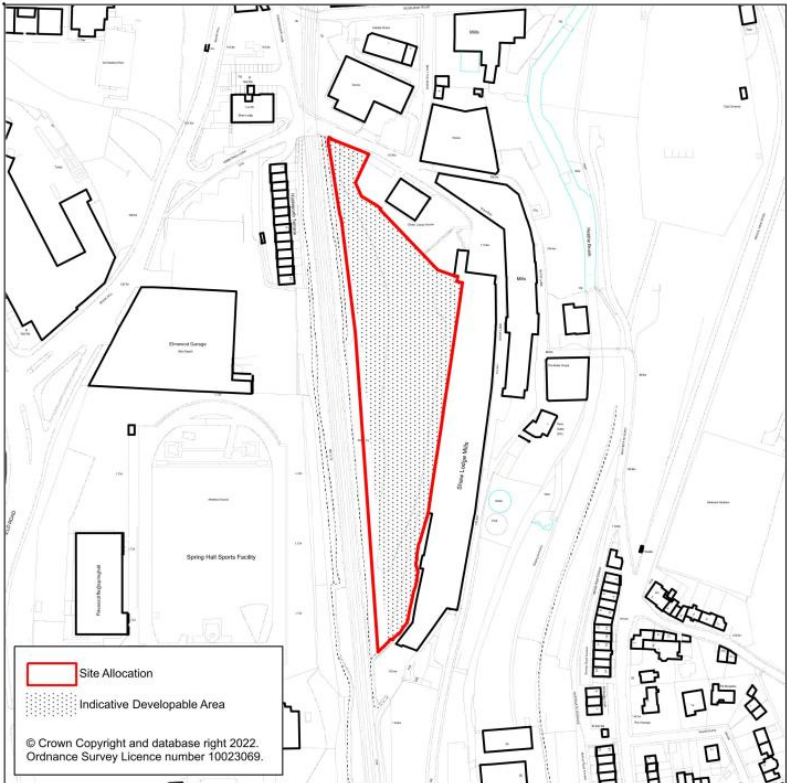
Site Specific Considerations

- Green and blue infrastructure, eg SuDS
- Defence line of the water courses and flood resilience & resistance
- Survey of culvert and mitigation
- Restoration of Hebble Brook if practical, and provide 10m buffer
- Retain woodland
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Retention and reuse of the non-listed buildings identified in the Heritage Impact Assessment where possible
- Retention of the stone boundary walls and the former warehouse wall along Shaw Hill Lane where possible
- Noise mitigation
- Land remediation
- Particular consideration of quality and sensitivity of design, layout and materials.
- Junction improvements - Hunger Hill / Oxford Road
- Regeneration objectives
- Site requires masterplanning in accordance with Policy IM7

4 Halifax Employment Allocations

Site number LP1134

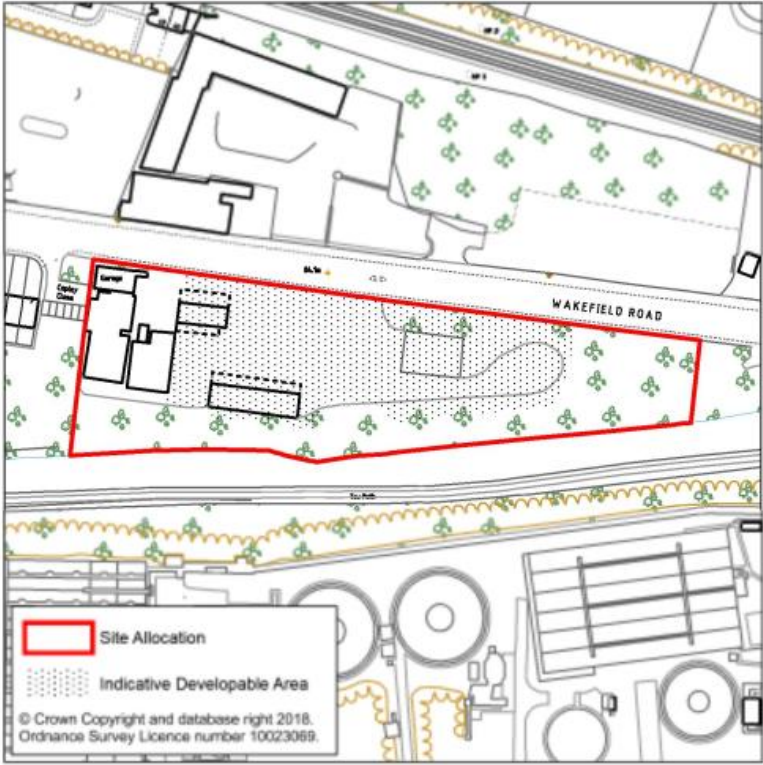
Shaw Lodge Mill Complex, Shaw Lane, Halifax

Site area (Ha)	1.16	 <p>The map shows the Shaw Lodge Mill Complex in Halifax. A red outline indicates the 'Site Allocation' area, which is a large, roughly rectangular plot. A stippled area within and around this plot indicates the 'Indicative Developable Area'. The map includes labels for 'Shaw Lane', 'Spring Hall Sports Facility', and 'Element Garage'. A legend at the bottom left of the map defines the symbols for 'Site Allocation' and 'Indicative Developable Area'. Copyright information at the bottom of the map reads: '© Crown Copyright and database right 2022. Ordnance Survey Licence number 10023069.'</p>
Indicative developable site area	1.05	
Total Employment floorspace (sq m)	4,600	
Appropriate uses	E(g)	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible requirement of third party land for access - Wildlife Habitat Network - Land Contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation (drainage) - Assessment of surface water drainage - Land Contamination Report - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Junction improvements access to A629 Shaw Lane - Provision of buffer with railway planted with locally native scrub and woodland species - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Retention and repair of the stone setts and the stone boundary walls - The northern part of the site should be kept free of built development in line with the Heritage Impact Assessment - Good design and layout - Land remediation - Regeneration objectives - Site requires masterplanning in accordance with Policy IM7 	

4 Halifax Employment Allocations

Site number LP1203

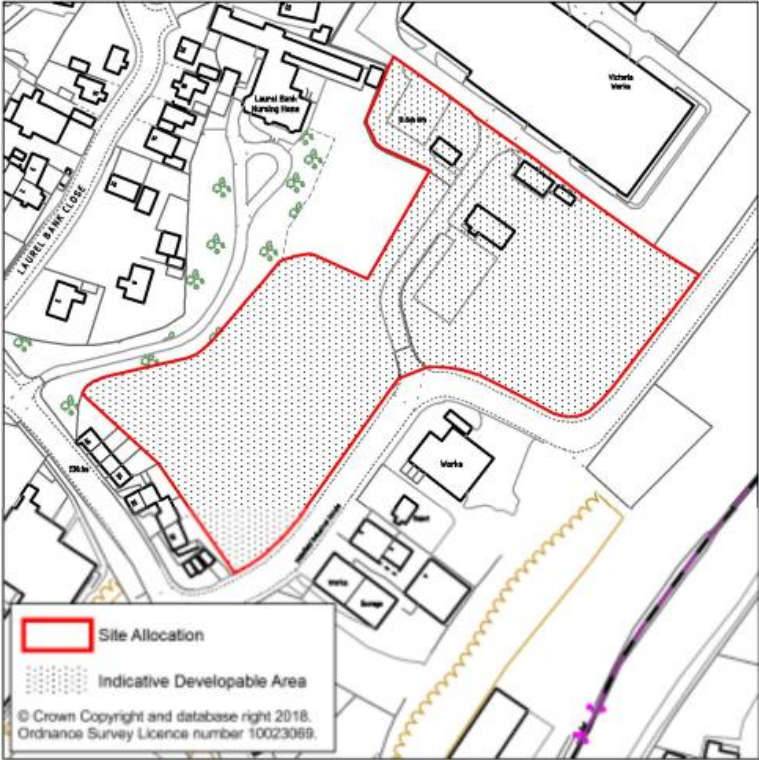
Star Garage, Wakefield Road, Copley, Halifax

Site area (Ha)	1.01	
Indicative developable site area	0.52	
Total Employment floorspace (sq m)	1,820	
Appropriate uses	E(giii), B2, B8	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential fluvial and surface water flooding - Rochdale Canal Local Wildlife Site - Archaeological site (PRN12025) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment River Calder and canal - Site investigation (drainage) - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Retain buffer of 10m from the canal - Good quality design and layout - Strong and defensible boundary between the site and the Green Belt will be required - Possible post determination archaeological condition 	

4 Halifax Employment Allocations

Site number LP1217

Land and premises, Holmfield Industrial Estate, Holmfield

Site area (Ha)	1.30	
Indicative developable site area	1.30	
Total Employment floorspace (sq m)	4,585	
Appropriate uses	E(giii), B2, B8	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Listed buildings in vicinity - 18-24 Holdsworth Road (Grade II), Holdsworth House (Grade II*) - Location of electricity sub station - Tree Protection Order - Potential fluvial and surface water flooding 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Survey - Transport Statement - Assessment of junction capabilities - Whitehill Road / Keighley Road (A629) - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on-site such as SuDS and green roofs - Defence line of the water courses and flood resilience & resistance - Potential junction improvement if required - Whitehill Road / Keighley Road (A629) - Retention of access to premises on adjacent land - Good quality design, materials and layout, and careful consideration of boundary treatment 	

4 Halifax Employment Allocations

Site number LP1218

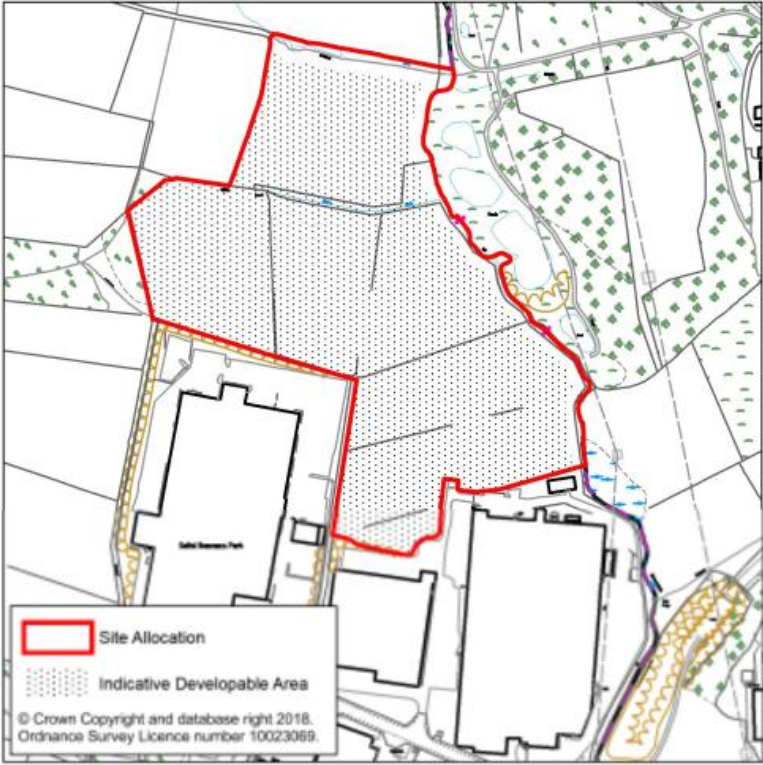
Land to south east of Holmfield Industrial Estate, Holmfield

Site area (Ha)	0.51	
Indicative developable site area	0.41	
Total Employment floorspace (sq m)	1,560	
Appropriate uses	E(giii), B2, B8	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential risk of surface water and fluvial flooding. - Possible land contamination - Public Right of way (Halifax 249) - UK BAP priority habitat - Strines Beck (boundary of the District) - Wildlife Habitat Network - Listed buildings (Holdsworth House - Grade II*, Brigg Royd - Grade II) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment of water courses including Hydrological Survey - Assessment of existing surface water drainage network - Land Contamination Report - Habitat and Landscape Management Plan. 	
Site Specific Considerations	<ul style="list-style-type: none"> - Green and blue infrastructure on site such as SuDS and green roofs - Defence line of the water courses and flood resilience and resistance. The watercourse and buffer must remain free from development. - Land contamination remediation. - Implementation of Habitat and Landscape Management Plan, to include measures to deculvert Strines Beck and provide a planted 5m buffer. Details to be agreed at planning application stage, as likely to include land outside Calderdale boundary. - Tree planting on south eastern boundary of site 	

4 Halifax Employment Allocations

Site number LP1219

North of Holmfield Industrial Estate, Holmfield Industrial Estate, Halifax

Site area (Ha)	6.82	
Indicative developable site area	6.25	
Total Employment floorspace (sq m)	21,771	
Appropriate uses	E(giii), B2, B8	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access dependent on adjacent site development - Potential surface water and pluvial flooding - UK BAP priority habitat 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation (flooding) - Habitat Regulations Assessment - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Comprehensive planning of access design and layout required with other development sites - Possible provision of SuDS - Defence line of the water courses and flood resilience & resistance - Provide a minimum stand off from the Strines beck of 10m. Augment the habitat corridor by including flood water attenuation wetlands linked to the beck corridor with invert levels set to retain at least 100mm of water. Plant with rich fen habitat. - Site requires masterplanning in accordance with Policy IM7. 	

Part of the site is also proposed to accommodate a new waste facility - Site number W3 'North of Holmfield Industrial Estate (part of New Employment Site LP1219)'

4 Halifax Employment Allocations

Site number LP1231

Shay Lane, Ovenden

Site area (Ha)	3.93	
Indicative developable site area	1.61	
Total Employment floorspace (sq m)	5,565	
Appropriate uses	B2, B8	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for surface water flooding - Proximity of listed building (151 Shay Lane - Grade II) - UK BAP priority habitat 	
Reports required	<ul style="list-style-type: none"> - Site investigation (drainage) - Assessment of existing surface water drainage network - Transport Assessment including assessment of junction at capacity Shay Lane / A629 junction and Beechwood Road / A629 junction 	
Site Specific Considerations	<ul style="list-style-type: none"> - Good quality layout and design (proximity to BAP priority habitat and neighbouring residential) - Possible junction improvements following conclusions of Transport Assessment 	

4 Halifax Employment Allocations

Site number LP1433

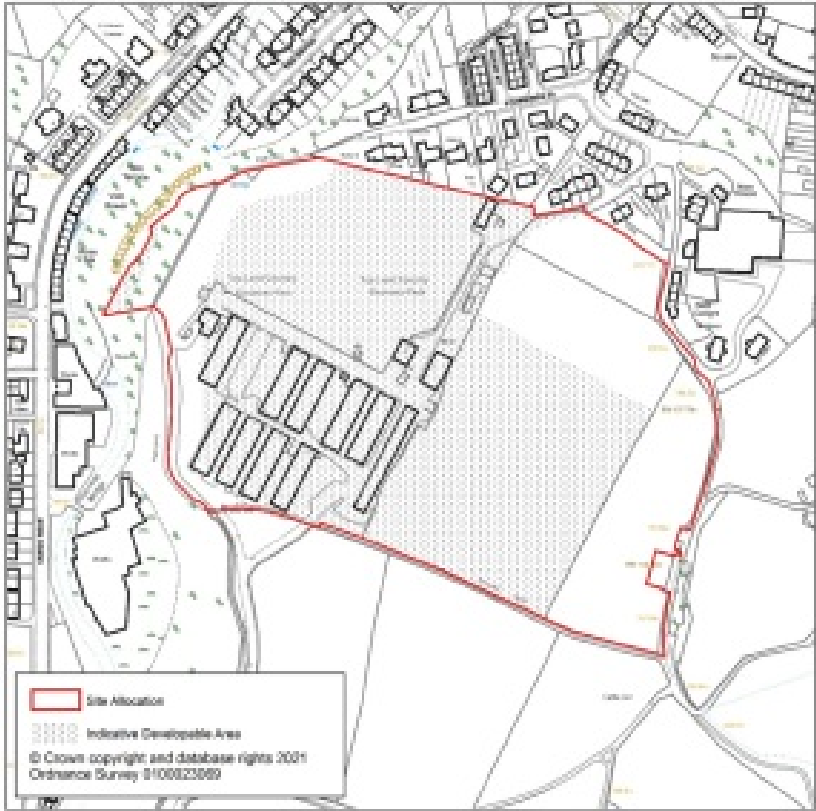
[Land off Old Lane, Halifax](#)

Site area (Ha)	0.39	
Indicative developable site area	0.24	
Total Employment floorspace (sq m)	840	
Appropriate uses	E(giii)	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential land contamination - Potential fluvial and surface water flooding - Water main crosses the site 	
Reports required	<ul style="list-style-type: none"> - Land Contamination Report - Hydrological Assessment of water course - Assessment of surface water drainage network - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Defence lines along the right bank of Clough Bank Beck and Flood resilience & resistance - Deculvert Ovenden Brook if possible and maintain a 10m buffer from the watercourse 	

5 Mytholmroyd Employment Allocations

Site number LP1622

Top Land, Cragg Vale, Hebden Bridge

Site area (Ha)	8.38	
Indicative developable site area	5.65	
Total Employment floorspace sq.m	13,944	
Appropriate uses	E(giii), B2, B8	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Special Landscape Area - Proximity to Grade II Listed Building (Bank House & New Delight Nos.3-7 Hall Bank Lane) - Broadhead Clough SSSI - Wildlife Habitat Network - Public Rights of Way (Hebden Royd 062) - Land contamination - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment with capacity assessments - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) - Noise Impact Assessment - Land Contamination Report - Landscape Impact Assessment 	

5 Mytholmroyd Employment Allocations

Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Blue and green infrastructure - Storage for storm water run-off - Realignment of retaining wall of the adjacent area - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Developable area to be determined through landscape work undertaken at planning application stage. This should be informed by the Landscape Impact Assessment. - Retention and repair of the stone boundary walls - Retention of a strong and defensible boundary between the allocation for employment and the Green Belt - Improvements at existing vehicle access onto Cragg Road - Improved pedestrian connectivity with rail station and bus stops. - Speed restriction and /or traffic calming measures may be required on the B6138 - Retain woodland and provide 20m buffer to WHN, and plant along boundaries of site - Provide stand off between residential and new development to mitigate effects of any noise impact - Ensure that adverse effects on the integrity of the SPA and SAC are avoided - Where likely significant effects have not been ruled out: <ul style="list-style-type: none"> - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds - Monitoring of impacts to assess bird use over time - Site requires masterplanning in accordance with Policy IM7
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6 Ripponden Employment Allocations

Site number LP1640

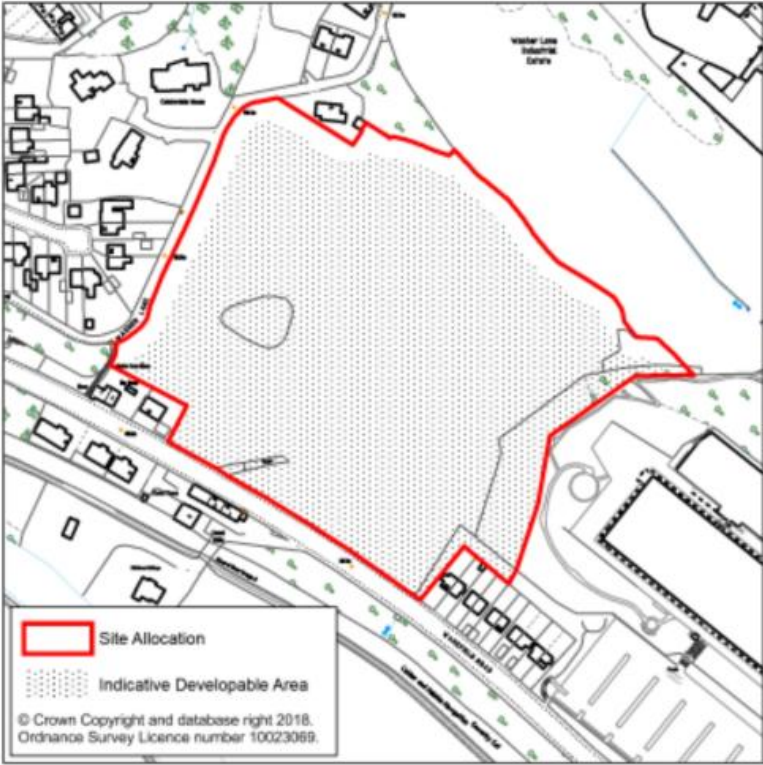
Zodion House, Station Road, Sowerby Bridge

Site area (Ha)	0.46	
Indicative developable site area	0.46	
Total Employment floorspace (sq m)	1,812	
Appropriate uses	E(g), B2	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Unstable land - Potential surface water flooding - UK Biodiversity Action Plan Priority Habitat within Calderdale Wildlife Habitat Network (boundary amended) - Land contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site investigation (flooding) - Assessment of the existing surface water drainage network - Defence line assessment (flooding mitigation) - Transport Assessment (including West Street/Station Road junction) and Travel Plan - Contaminated Land Report - Landscape Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Land remediation - Strong and defensible boundary between the site and the Green Belt will be required 	

7 Sowerby Bridge Employment Allocations

Site number LP1220

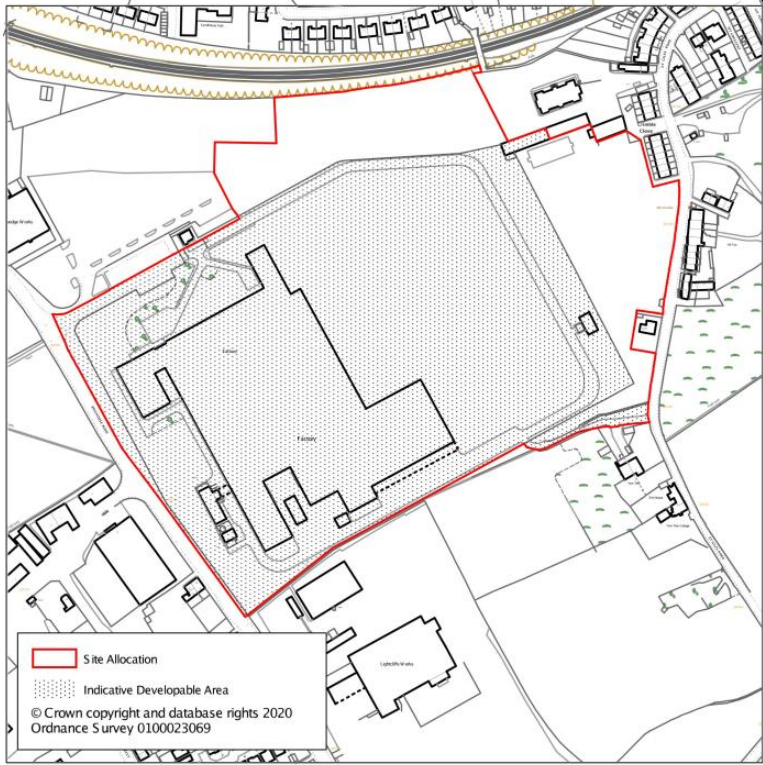
Adjacent Lloyds, Wakefield Road, Copley, Halifax

Site area (Ha)	3.98	
Indicative developable site area	3.55	
Total Employment floorspace (sq m)	20,413	
Appropriate uses	E(g), B8	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Site adjacent to the Wildlife Habitat Network - Unstable land - Potential for fluvial and surface water flooding - Sowerby Bridge Air Quality Management Area - Listed Buildings (Old Hall, Washer Lane - Grade II) 	
Reports required	<ul style="list-style-type: none"> - Site investigation (drainage) - Hydrological Assessment - Flood Risk Assessment - Transport Assessment and Travel Plan - assessment of junction - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Highway improvements - widening of Washer Lane and junction improvements - Provision of SuDS - Manage land for amphibian habitat along the north and west of the site - Plant species rich native hedgerows on boundaries - Defence lines along the right bank of Warley Clough and Flood resilience & resistance - Good layout design to protect setting of listed buildings - Noise and air quality mitigation, including good quality design and layout - Site requires masterplanning in accordance with Policy IM7 	

8 Brighouse Mixed Use Allocations

Site number LP0032

Land at the former Crosslee PLC, Brighouse Road, Hipperholme

Site area (Ha)	10.89	
Indicative developable site area	8.56	
Total Non-Residential floorspace (sq m)	7,620	
Appropriate uses	B2, B8, C2, C3, E(a), E(giii), F1	
Total No. of dwellings	188	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for surface water flooding - Impact on A58 / A644 junction - Proximity to Grade II Listed Building (1 and 2 Yew Trees) - Archaeology (PRN 2599) - AQMA (No 7 Hipperholme) - Contaminated land - Lowland mixed deciduous woodland UK BAP Priority habitat - Wildlife Habitat Network including Grassland of wildlife value 	
Reports required	<ul style="list-style-type: none"> - Policy RT3 Sequential Test and Impact Assessment - Flood Risk Assessment supported by pre and post development hydraulic modelling - Site investigation (drainage) - Transport Assessment (including assessment of Hipperholme crossroads) & Travel Plan - Access proposals and mitigation proposals and design. - Noise Impact Assessment - Air Quality Assessment - Heritage Impact Assessment - Predetermination Archaeological Evaluation - Contaminated Land Assessment - Ecological Impact Assessment including Net Gain assessment using the Defra biodiversity metric and informed by the most recent species surveys 	

8 Brighouse Mixed Use Allocations

Site Specific Considerations

- Redevelopment of the site should make provision for 2 ha of employment development (Use Classes B2, B8, E(g))
- Detail of sufficient mitigation measures for any flood risk identified, including provision of SuDS, ensuring access and egress in a flood event and proposals for emergency evacuation where applicable
- Good quality design and layout
- Highway improvements to access
- Consideration to be given to multi-modal transport corridor improvements
- Transport statement to demonstrate that development will not result in an unacceptable impact on highway safety, or result in a severe residual cumulative impact on the road network
- Consideration of guidance in the West Yorkshire Low Emission Strategy
- Mitigation for any noise impact
- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Wildlife Habitat Network should be excluded from the developable area and Grassland enhanced if possible. These considerations will be based on the outcome of future Ecological Impact Assessment
- On-site open space should meet the quantitative and qualitative needs of future residents and other users of the site
- Site requires masterplanning in accordance with Policy IM7
- The precise extent and mix of uses is dependent on further Transport Assessment and Air Quality Assessment work. Necessary mitigation measures are to be explored and secured through the planning application process.

8 Brighouse Mixed Use Allocations

Site number LP0579

126 - 128 Bradford Road, Brighouse

Site area (Ha)	0.42	
Indicative developable site area	0.42	
Total Employment floorspace (sq m)	2,000	
Appropriate uses	E, C3	
Total No. of dwellings	60	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding from Clifton Beck - Potential noise impact 	
Reports required	<ul style="list-style-type: none"> - Assessment of the existing surface water drainage network - Hydrological Assessment and Flood Risk Assessment of Clifton Beck - Transport Statement - to include impact on the A641/A644/Ludenscheid Link roundabout. - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Defence lines and flood resilience and resistance - Good quality design and layout - Noise mitigation measures - Site requires masterplanning in accordance with Policy IM7 	

9 Elland Mixed Use Allocations

Site number LP0509

Land and buildings opposite B&M, Dewsbury Road, Elland

Site area (Ha)	1.90	
Indicative developable site area	1.90	
Total Employment floorspace (sq m)	5,000	
Appropriate uses	E(giii), B2, C3	
Total No. of dwellings	90	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Third party land may be required for access - Potential land contamination - Proximity to Elland Conservation Area - Listed building (Former Town Hall - Grade II) 	
Reports required	<ul style="list-style-type: none"> - Site investigations and Topographic Survey - Flood Risk Assessment - Hydrological Assessment - Transport Assessment - Land Contamination Report - Bat Survey - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure including SuDS - Good quality design and layout - Very small area of woodland to be retained - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Air quality mitigation following guidance in West Yorkshire Low Emission Strategy - Noise mitigation - Site requires masterplanning in accordance with Policy IM7 	

9 Elland Mixed Use Allocations

Site number LP1088

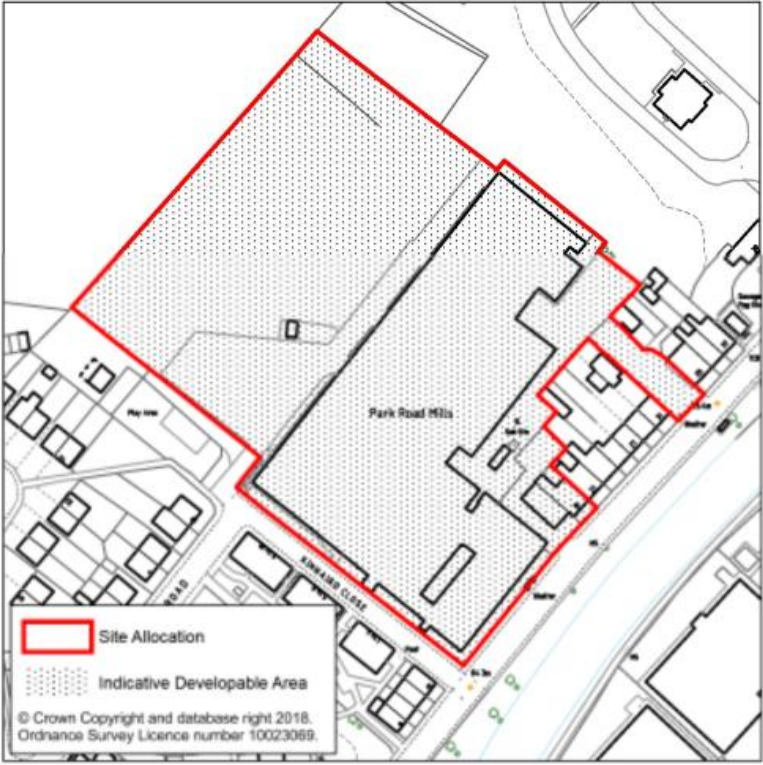
West Vale Works, Stainland Road, West Vale, Elland

Site area (Ha)	0.80	
Indicative developable site area	0.47	
Total Employment floorspace (sq m)	1,680	
Appropriate uses	E(g), C3	
Total No. of dwellings	8	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible land contamination - UK BAP priority area (Black Brook) - Listed Building in close proximity - Historic Environment Record PRN3675 - Risk of reservoir flooding - Potential fluvial flood risk - Non main watercourse (Black Brook) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment including Hydrological assessment, and detailed modelling to confirm flood extents and depths - Exception Test - Land Contamination Assessment - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Realignment of retaining wall of the adjacent area. - Buffer of 10m to Black Brook - Minimise light pollution and other disturbance in the area of Black Brook - Noise mitigation - Good quality design layout and materials - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Site requires masterplanning in accordance with Policy IM7 	

9 Elland Mixed Use Allocations

Site number LP1123

Kinnaird Close, Elland

Site area (Ha)	1.73	
Indicative developable site area	1.73	
Total Employment floorspace (sq m)	4,300	
Appropriate uses	E(g), C3	
Total No. of dwellings	68	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Possible contaminated land - Road noise - Air quality - Risk of reservoir flooding - Potential fluvial flood risk 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include consideration of layout and design - Contaminated Land Assessment - Noise Impact Assessment - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Consideration of the recommendations in the West Yorkshire Low Emission Strategy - Mix of uses should be appropriate to a residential location - Site requires masterplanning in accordance with Policy IM7 	

10 Halifax Mixed Use Allocations

Site number LP0264

Car Park Between Well Lane / King Street, Halifax

Site area (Ha)	0.39	
Indicative developable site area	0.39	
Total employment floorspace (sq m)	1,417	
Appropriate uses	E(gi), C3	
Total No. of dwellings	40	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible land contamination - Adjacent commercial uses - Historic Environment Record (PRNs 8939/4704/6523) - Listed buildings (Stone Dam Mills - Grade II, and War Memorial - Grade II) 	
Reports required	<ul style="list-style-type: none"> - Evaluation of surface water drainage network and historical surface water flood risk assessment - Transport Assessment - Predetermination Archaeological Evaluation - Land Contamination Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Possible mitigation required on A58 and A629 junctions - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Consideration of proximity to commercial uses in layout and design - Possible land remediation - Regeneration objectives - Site requires masterplanning in accordance with Policy IM7 	

10 Halifax Mixed Use Allocations

Site number LP0289

Land off King Cross Street, Halifax

Site area (Ha)	0.41	<p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	0.41	
Total employment floorspace (sq m)	684	
Appropriate uses	E(a), E(gi), C3	
Total No. of dwellings	26	
Land type	Brownfield	
Ownership	Private / Public	
Constraints	<ul style="list-style-type: none"> - Halifax Town Centre Conservation Area - Location of Listed Buildings - Historic Environment Records (PRNs 10085,01086,10087, 10088, 10903) - Potential land contamination - Potential noise disturbance - Multiple ownership 	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing surface water drainage network - Transport Statement and operational assessments of Bull Green / A629 roundabout - Desk based assessment Archaeological field evaluation - Land Contamination Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Good quality design and layout - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Possible highway improvements - Regeneration objectives - Site requires masterplanning in accordance with Policy IM7 	

10 Halifax Mixed Use Allocations

Site number LP0370

Land off Armitage Road, King Cross, Halifax

Site area (Ha)	0.26	
Indicative developable site area	0.26	
Total employment floorspace (sq m)	520	
Appropriate uses	E(a), E(gi)	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Tree Protection Order - Listed buildings (St Paul's Church Steeple - Grade II, and Wainhouse Terrace - Grade II) - Possible contaminated land 	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing surface water drainage network - Site investigation (drainage) - Transport Statement and Access Design - Air Quality Impact Assessment - Noise Impact Assessment - Contaminated Land Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Consider guidance in the West Yorkshire Low Emissions Strategy - Noise mitigation - Site requires masterplanning in accordance with Policy IM7 	

10 Halifax Mixed Use Allocations

Site number LP0749

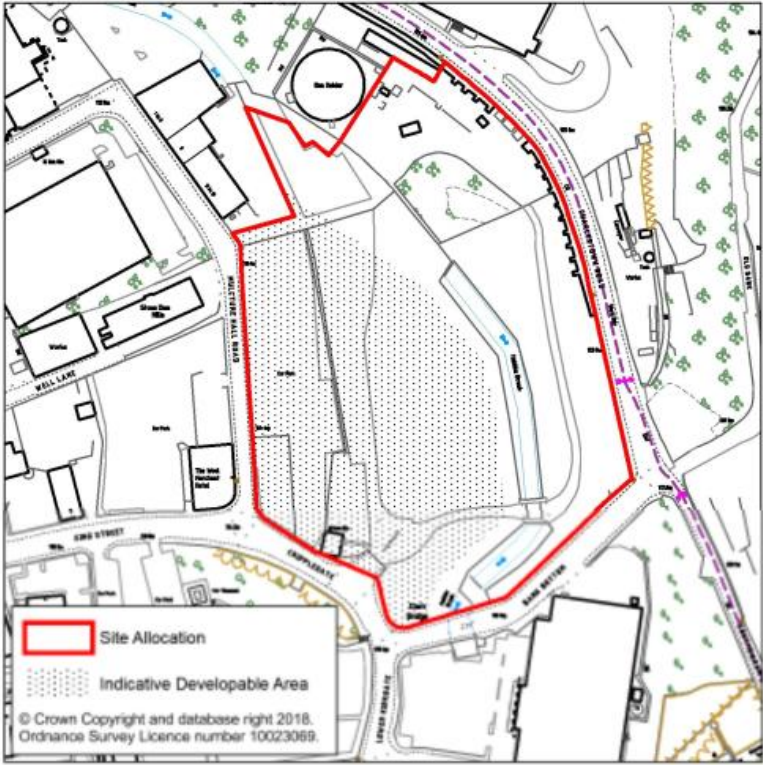
Stoney Royd Mill, Albion Mills, Bailey Hall Road, Halifax

Site area (Ha)	1.51	
Indicative developable site area	0.39	
Total employment floorspace (sq m)	1,699	
Appropriate uses	E(gi), C3	
Total No. of dwellings	56	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Flooding - Hebble Brook and surface water flooding - Heritage - Halifax Town Centre Conservation Area; Listed Buildings including Bailey Hall Mill, the Railway Viaduct, the Coal Drops and Halifax Railway Station; possible archaeological remains 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment - Flood Risk Assessment - Predetermination Archaeological Evaluation - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Mitigation to address noise impacts identified in Noise Impact Assessment - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Retention and restoration of the Listed Coal Drops and adjacent open space - Retention and reuse of the other Listed Buildings on the site - The watercourse and buffer must remain free from development - Site requires masterplanning in accordance with Policy IM7 	

10 Halifax Mixed Use Allocations

Site number LP1170

Mulcture Hall Road, Halifax

Site area (Ha)	3.23	
Indicative developable site area	1.54	
Total employment floorspace (sq m)	2,630	
Appropriate uses	E(giii), C3	
Total No. of dwellings	131	
Land type	Brownfield	
Ownership	Private / Public	
Constraints	<ul style="list-style-type: none"> - Multiple ownership - UK BAP priority habitat - Hebble Brook - Class III archaeological site - Potential land instability - Possible land contamination - High pressure gas main and other underground utilities - Listed Building - Grade 1 Halifax Minster 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment and evaluation of surface water drainage network - Flood Risk Assessment - Transport Assessment - A58 / New Bank and A58 / A629 / Orange Street roundabouts - Land Contamination Assessment - Preliminary Ecological Appraisal and Protected Species Survey - Pre-determination archaeological survey 	

10 Halifax Mixed Use Allocations

Site Specific Considerations

- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Retention and repair of the stone boundary walls where possible
- Comprehensive layout and design
- Restoration of Hebble Brook (UK BAP priority habitat), including deculverting of sections of the brook (unless prevented by other environmental constraints), and the provision of a minimum buffer of 10m, creating a habitat corridor along the banks following the Calderdale Wildlife Habitat network
- Land remediation
- Regeneration initiatives
- Site requires masterplanning in accordance with Policy IM7

10 Halifax Mixed Use Allocations

Site number LP1431

Former Mayfield Garage, Queens Road, King Cross, Halifax

Site area (Ha)	0.87	
Indicative developable site area	0.87	
Total employment floorspace (sq m)	3,480	
Appropriate uses	E(gi), B2, C3	
Total No. of dwellings	17	
Land type	Brownfield	
Ownership	Private	
Constraints	- Possible land contamination	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing drainage network and suitability of SUDS - Transport Assessment and access design - Land Contamination Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Good quality design and layout - Site requires masterplanning in accordance with Policy IM7 	

10 Halifax Mixed Use Allocations

Site number LP1632

Horton Street, Halifax

Site area (Ha)	1.56	
Indicative developable site area	1.56	
Total employment floorspace (sq m)	2,945	
Appropriate uses	E(giii), C3	
Total No. of dwellings	97	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding - Listed buildings within site (India Buildings - Grade II, and Deal Street - Grade II) and in proximity 	
Reports required	<ul style="list-style-type: none"> - Site Investigation (drainage) - Flood Risk Assessment and Hydrological Assessment - Transport Assessment - Bat Survey - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Noise mitigation - Comprehensive site layout and design - Regeneration objectives - Site requires masterplanning in accordance with Policy IM7 	

11 Hebden Bridge Mixed Use Allocations

Site number LP0922

Former Hebden Bridge Fire Station

Site area (Ha)	0.37	
Indicative developable site area	0.37	
Total employment floorspace (sq m)	2,213	
Appropriate uses	E, C3	
Total No. of dwellings	12	
Land type	Brownfield	
Ownership	Private / Public	
Constraints	<ul style="list-style-type: none"> - Fluvial and Pluvial Flood Risk - Hebden Bridge Conservation Area - Site is within 2.5km of the SPA/SAC - Noise from nearby commercial/industrial uses 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include Hydrological Assessment - Access proposals and Transport Statement - Noise Impact Assessment - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) 	

11 Hebden Bridge Mixed Use Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting- Consider loss of car parking- The proposed Hebden Bridge Flood Alleviation Scheme may need to be considered in this location- Site requires masterplanning in accordance with Policy IM7- Ensure that adverse effects on the integrity of the SPA and SAC are avoided.- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on- site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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12 Brighouse Housing Allocations

Site number LP0174

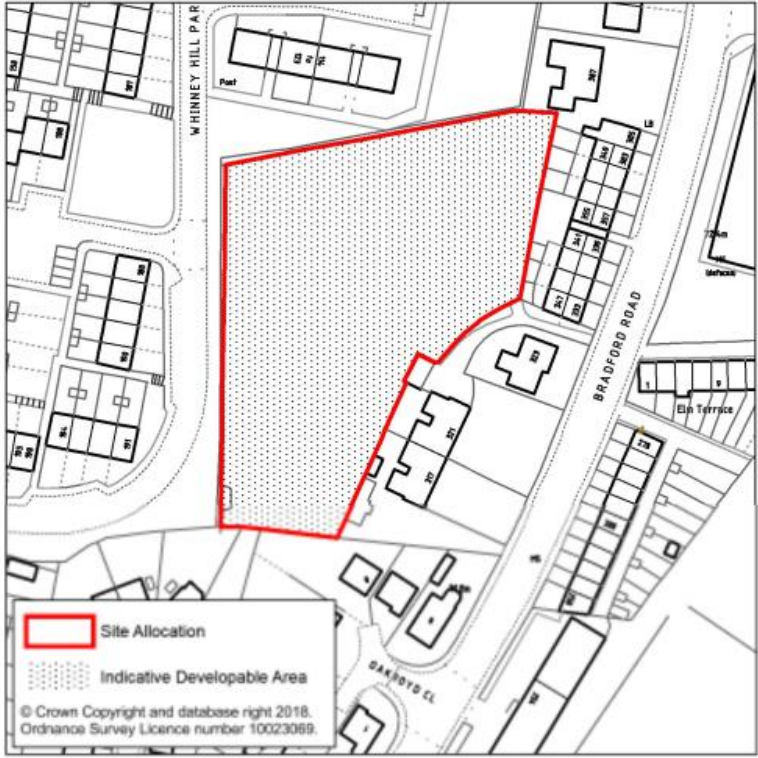
End of Wilton Street, Brighouse

Site area (Ha)	2.82	
Indicative developable site area	1.84	
Indicative density (dph)	8	
Indicative capacity	15	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Fluvial and Pluvial Flood Risk from Red Beck - Ecological impact on Red Beck - Lowland mixed deciduous woodland a UK BAP Priority Habitat - Access constraints reduce site capacity to a maximum of 15 dwellings - Bats - Tree Preservation Orders - Rights of Way (Brighouse 064) - Noise (from adjacent industrial and commercial uses) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Assessment - Protected Species surveys - Noise impact assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Design and layout to mitigate Flood Risk - minimum standoff from the Red Beck of 10m - Provision of green and blue infrastructure on site such as SuDS and green roofs - Provision of storage for storm water run-off is recommended - Retain all of the adjacent woodland - Reduce developable area by providing a 10m buffer from woodland to be planted with native shrubs - Minimise light pollution and other disturbance to the beck corridor - Provision of parking restrictions at junction of Wilton Street and Brighouse Wood Lane 	

12 Brighouse Housing Allocations

Site number LP0338

Land adjacent Whinney Hill Park, Whinney Hill, Brighouse

Site area (Ha)	0.60	
Indicative developable site area	0.60	
Indicative density (dph)	36	
Indicative capacity	22	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access (topography) - Potential for increased surface water run-off 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Access Design (with topographic survey) - Junction assessments at A641/A644 - Evaluation of existing drainage network 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Earthworks required for access 	

12 Brighouse Housing Allocations

Site number LP0548

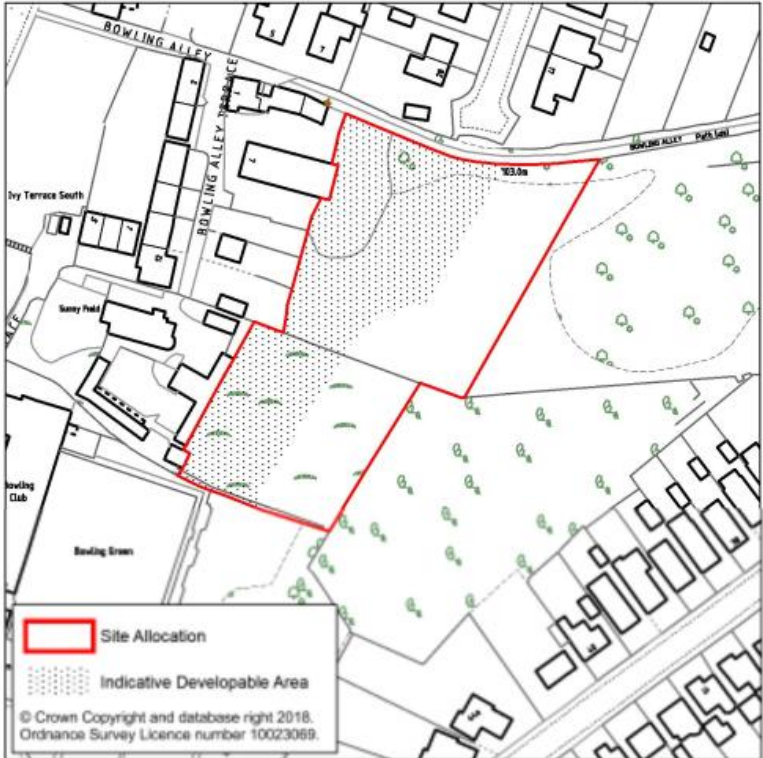
Land at junction of Granny Hall Lane & Blackburn Road, Brighouse

Site area (Ha)	0.54	
Indicative developable site area	0.54	
Indicative density (dph)	30	
Indicative capacity	16	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run off - Contaminated land - former quarry and tip 	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing drainage network - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Application of SuDS - Retain or replace trees on site - Development proposals should include suitable mitigation to compensate for the loss of existing on-site open space. Compensatory provision should include qualitative improvements to other open space in the area. 	

12 Brighouse Housing Allocations

Site number LP0565

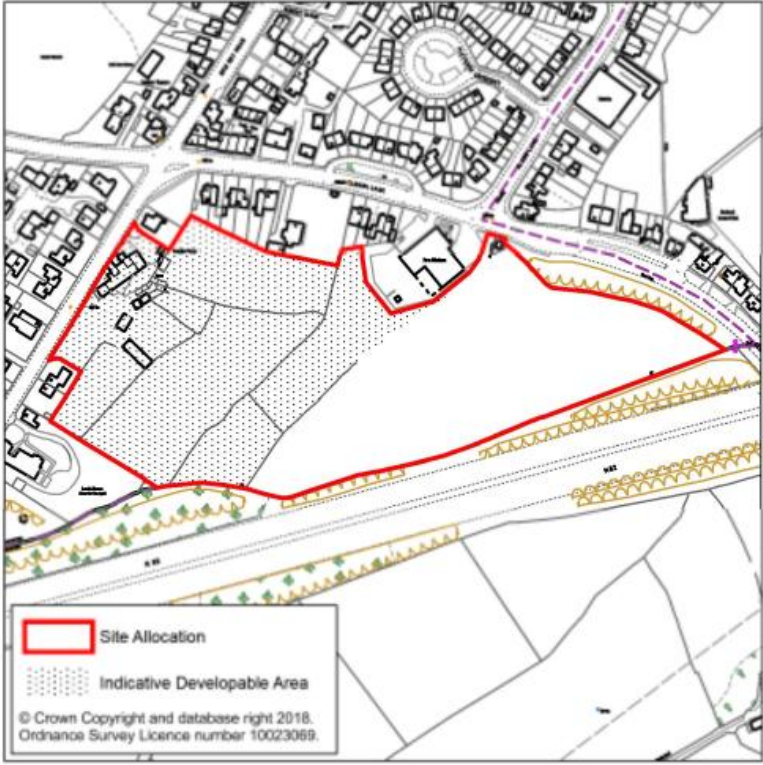
[Land at Bowling Alley/Scholey Avenue, Rastrick](#)

Site area (Ha)	0.52	
Indicative developable site area	0.28	
Indicative density (dph)	36	
Indicative capacity	10	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Potential flood risk from Jumble Dyke - Wildlife Habitat Network - Public Right of Way (Brighouse 097) - Designated natural/semi-natural green space - Access requires Third Party Land 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment - Access Design and Transport Statement - Third Party Land control - Examination of the impact on the remainder natural/semi-natural green space 	
Site Specific Considerations	<ul style="list-style-type: none"> - Defence lines and Flood resilience & resistance - Provision of green and blue infrastructure on site such as SuDS and green roofs - Provision of storage for storm water run-off is recommended - Third Party Land required to widen part of Bowling Alley Terrace - Potential site access via Scholey Avenue - Reduce developable land by providing a buffer of 20m on the SE boundary plant with locally native shrubs - Locally native species rich hedgerows should be planted on the other boundaries. - Avoid light spillage into the woodland - Include bat tubes and bird boxes within any development - Mitigation measures put in place on the remainder natural/semi-natural green space 	

12 Brighouse Housing Allocations

Site number LP0568

Land south of Clough Lane, Rear of New Hey Road, Rastrick

Site area (Ha)	4.33	
Indicative developable site area	2.37	
Indicative density (dph)	33	
Indicative capacity	78	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Public Right of Way (Brighouse 106) - Potential for increased surface water run-off - Archaeology (Ref: PRN4062) - Noise/Air Pollution (M62) - Bats - Potential protected species 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment and Travel Plan - Preliminary Ecological Appraisal - Ecological Impact Assessment - Ecological Management Plan - Desk based assessment and archaeological evaluation - Air quality assessment - Noise impact assessment 	

12 Brighouse Housing Allocations

Site Specific Considerations

- Provision of green and blue infrastructure on site such as SuDS and green roofs
- Provision of storage for storm water run-off is recommended
- 10m buffer on the south boundary should be taken out of the developable area and planted densely with native shrubs to improve habitat linkages
- The central hedgerow should be retained and restored
- A SuDS scheme should take account of existing biodiversity and take the form of fen, marsh, wet woodland, wet grassland or standing water in basins
- Stand-off from motorway
- Good acoustic design required for layout and house types
- West Yorkshire Low Emission Strategy has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts.

12 Brighouse Housing Allocations

Site number LP0571

Site to the rear of 9A Birds Royd Lane, Brighouse

Site area (Ha)	0.50	
Indicative developable site area	0.39	
Indicative density (dph)	256	
Indicative capacity	100	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flood risk - River Calder and lowland mixed deciduous woodland - UK BAP Priority Habitats - Protected species - otters and bats - Wildlife Habitat Network - Proximity to industrial/commercial uses - Proximity to Brighouse Air Quality Management Area - Risk of reservoir flooding - Potential fluvial flood risk - Adjacent to River Calder 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include: <ul style="list-style-type: none"> - Flood risk hydraulic modelling - Emergency access and egress plans (to be provided to the LPA for consideration and agreement with the Council's emergency planners) - Specific consideration being given to impacts from historic flooding, such as recent flood events in Calderdale - Following a sequential approach to the layout of the site – i.e. locating development in areas of least flood risk - Topographical surveys may be required to inform FRA - Transport Statement - Otter Survey to respond to issues raised by the Council's Ecology Officer 	

12 Brighouse Housing Allocations

Site Specific Considerations

- Provision of SuDS and use of permeable surfacing
- Provide a 10m stand-off from the river, and plant with locally native trees and shrubs
- Avoid balconies directed towards the river
- Provide a plan for dealing with Japanese knotweed and Himalayan balsam
- Provide additional bat tubes for roosting bats
- Ensure that lighting is low lux level and screened from the river in line with the bat report
- Building height and massing need to ensure that they do not cast dense shadow over the river
- Proximity to industrial/commercial uses would potentially require appropriate buffers
- Consider recommendations of the West Yorkshire Low Emission Strategy

12 Brighthouse Housing Allocations

Site number LP0771

Firth's Carpets, 432 Bradford Road, Bailiff Bridge

Site area (Ha)	0.60	
Indicative developable site area	0.60	
Indicative density (dph)	68	
Indicative capacity	41	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential of surface water flooding from Clifton Beck and Boundary Beck - Contaminated land - Listed building (Former St Aidan's Mission Church - Grade II) 	
Reports required	<ul style="list-style-type: none"> - Evaluation of surface drainage network - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Site requires masterplanning in accordance with Policy IM7 	

12 Brighouse Housing Allocations

Site number LP0846

The Bramble Inn, Field Lane, Rastrick

Site area (Ha)	0.3	
Indicative developable site area	0.3	
Indicative density (dph)	40	
Indicative capacity	12	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Strand of mature Lowland mixed deciduous woodland - Grade II Listed Buildings - former Lodge to Rastrick House and its entrance 	
Reports required	<ul style="list-style-type: none"> - Heritage Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Retain as many of the trees as possible - Plant locally native shrubs/trees within the gardens - Use climbers such as ivy and honeysuckle with the landscaping - Include bat tubes within at least 4 of the dwellings - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting 	

12 Brighouse Housing Allocations

Site number LP0945

Pond Quarry, Lightcliffe Road, Brighouse

Site area (Ha)	1.82	
Indicative developable site area	1.82	
Indicative density (dph)	41	
Indicative capacity	75	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Access (Steep site) - UK BAP Priority habitat on site - Deciduous woodland - Protected species are known to be present - Locally Listed Park and Garden (Brighouse Cemetery) - Land Stability - Contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Land Stability Report - Transport Assessment and Travel Plan with appropriate junction assessments - Ecological survey, Preliminary Ecological Appraisal, and Ecological Record Search with West Yorkshire Ecology - Land Stability Report - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Design of access roads and retaining structures - Provision of green and blue infrastructure on site such as SuDS and green roofs - Provision of storage for storm water run-off - Highlight opportunities for ecological enhancement and make recommendations for design and allow significant adverse ecological effects to be avoided and for mitigation to be specified - Planting of significant areas of dense native shrubs - Careful consideration with regard to any development close to the cemetery - Consider recommendations of the West Yorkshire Low Emission Strategy 	

12 Brighouse Housing Allocations

Site number LP1000

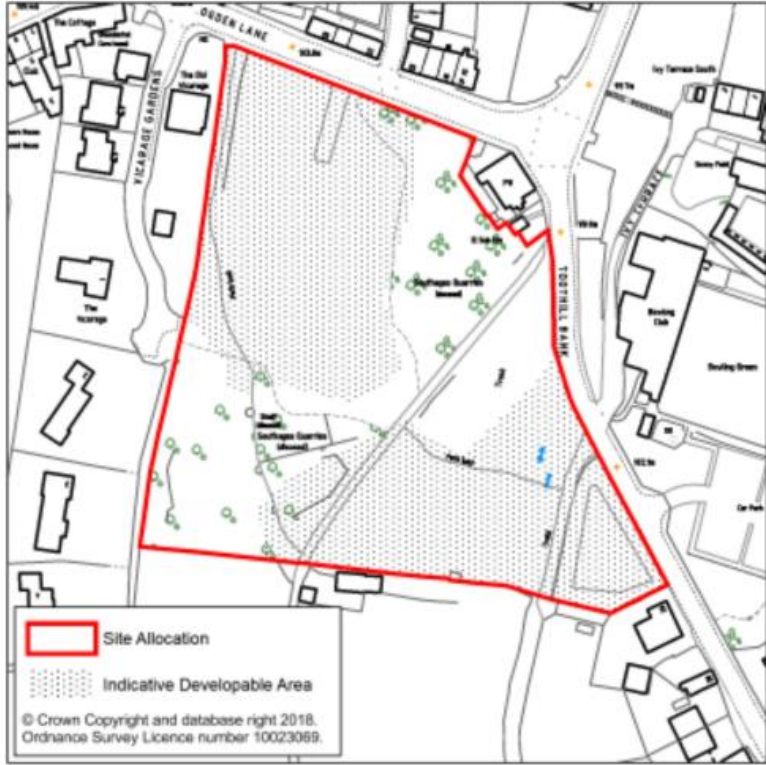
Land off Woodhouse Lane, Rastrick

Site area (Ha)	0.46	<p>© Crown Copyright and database right 2022. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	0.46	
Indicative density (dph)	22	
Indicative capacity	10	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Covenant on the site to be used as Open Space - Grade II Listed Buildings (2 and 4 Woodhouse Lane) - Bat Habitat 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Green and Blue Infrastructure including SuDS - Retain trees where possible - Development proposals should include the enhancement of other open spaces in the area such as at the adjacent Woodhouse Recreation Ground 	

12 Brighthouse Housing Allocations

Site number LP1032

Southages Quarry, Ogden Lane & Toothill Bank, Rastrick

Site area (Ha)	1.65	
Indicative developable site area	1.05	
Indicative density (dph)	40	
Indicative capacity	42	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Fluvial (Jumble Dyke) and Pluvial Flood Risk - Lowland mixed deciduous woodland UK BAP priority habitat - Adjacent Grade II* Listed Church of St. Matthew - Old stone quarry - Public Rights of Way (Brighthouse 099) - Contaminated Land - Noise (The Junction Public House) - MLV Benchmark not exceeded if all policy requirements applied to site 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment as part of Flood Risk Assessment - Well planned site investigations (Drainage) - Land Stability Report - Transport Assessment - Contaminated Land Assessment - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Defence lines and provision of green and blue infrastructure including SuDS - Exclude an area of grassland from the developable area - Protect the settings of nearby listed building through careful consideration of scale, height, and materials. - Existing trees should be retained to the western boundary - Good acoustic design required for layout and house types - Access to the site should be taken from Toothill Bank at a point opposite the existing Bowling Club 	

12 Brighouse Housing Allocations

Site number LP1033

Land off Toothill Bank, Rastrick

Site area (Ha)	3.23	
Indicative developable site area	3.23	
Indicative density (dph)	30	
Indicative capacity	97	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Presence of species rich semi-improved grassland on part of the site - Wildlife Habitat Network - Right of Way (Brighouse 099) - Contaminated land and former quarry - Land Stability - Ecological Impact Assessment informed by the Defra metric and demonstrating Biodiversity Net Gain 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment as part of a Flood Risk Assessment - Well-planned site investigations (Drainage) - Transport Assessment, to include Access Road Design - Contaminated Land Assessment - Land Stability Assessment 	

12 Brighthouse Housing Allocations

Site Specific Considerations

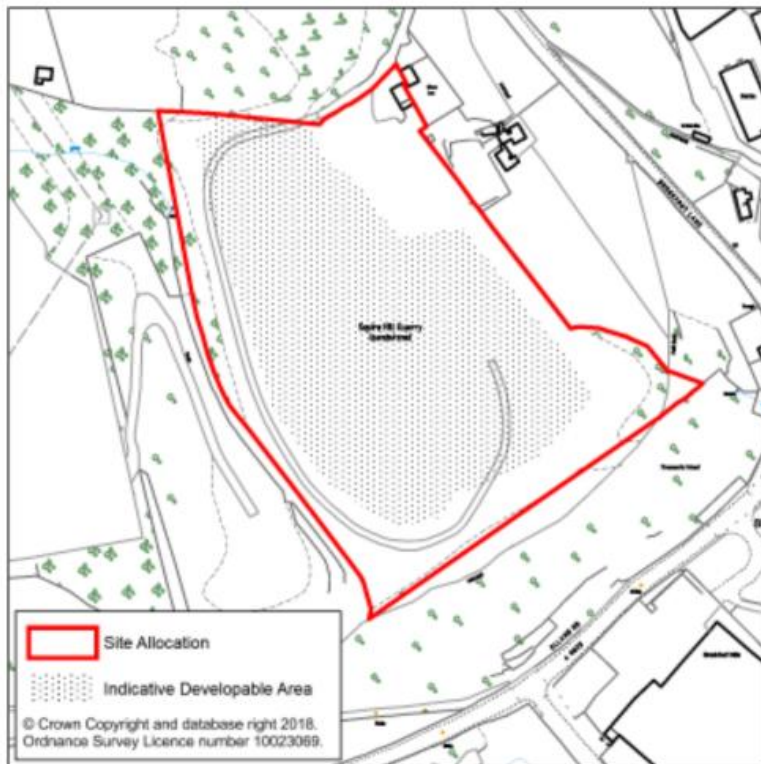
- Ensure the retention and strengthening of a strong and defensible boundary between the allocation for housing and the Green Belt
- Surface water management measures, such as provision of SuDS and green roofs
- Provision of storage for storm water run-off is recommended
- Retain the woodland, mature trees and hedgerows on the site. The stream with a buffer of 5m should also remain free from development. These areas should be integrated into landscaping and should not form part of private gardens.
- Site layout should take into account the steep topography of the eastern section of the site, and consideration be given to using this land for landscaping/open space. The precise extent of landscaping/open space will be determined through masterplanning.
- Improvements to other open space in the area should be carried out, for example at the adjacent Carr Green Recreation Ground and Playing Fields
- Access to the site should be taken from Toothill Bank at a point to be agreed with the Local Planning Authority and designed to minimise its impact on the landscape

12 Brighouse Housing Allocations

Site number LP1053

Squire Hill Quarry, Brighouse

Site area (Ha)	3.75
Indicative developable site area	2.26
Indicative density (dph)	30
Indicative capacity	68
Land type	Greenfield
Ownership	Private



Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Fluvial Flood Risk from Squire Hill Clough water course - Adjacent Freeman's Wood Local Wildlife Site - Deciduous woodland on site - UK BAP Priority Habitat - Noise from Brookfoot Works - Third party land to create suitable access
Reports required	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations. - Flood Risk Assessment, including Hydrological Assessment - Third Party Land control - Protected species survey - Noise impact assessment

12 Brighthouse Housing Allocations

Site Specific Considerations

- Provision of green and blue infrastructure on site such as SuDS and green roofs
- Provision of storage for storm water run-off is recommended
- Third party land required to create suitable access
- Remove from the developable area a 10m buffer from all woodland and plant with locally native shrubs
- Retain shrubs on east boundary and plant species rich locally native hedgerow on north boundary
- Provide mitigation for the increased recreational pressure on nearby LWS
- Avoid light spillage into the woodland
- A SUDs scheme should take account of existing biodiversity and take the form of fen, marsh, wet woodland, wet grassland or standing water in basins
- Noise mitigation
- Site access of LP1053 and LP1054 need to be linked to minimise additional accesses on to Brookfoot Lane

12 Brighouse Housing Allocations

Site number LP1054

Land off Brookfoot Lane, Brighouse

Site area (Ha)	1.23	<p>Legend: Site Allocation Developable Area</p> <p>© Crown Copyright and database right 2022. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	0.90	
Indicative density (dph)	36	
Indicative capacity	32	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Fluvial Flood Risk from Squire Hill Clough water course - Adjacent Freeman's Wood Local Wildlife Site - Lowland mixed deciduous woodland on site - Wildlife Habitat Network - Noise from Brookfoot Works/Road Traffic 	
Reports required	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations - Hydrological Assessment as part of a Flood Risk Assessment - Transport Statement - Noise Impact Assessment - Bat survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on site such as SuDS and green roofs - Provision of storage for storm water run-off is recommended - Provide a minimum stand off from the LWS of 20m. Allow to naturally scrub over with locally native trees. - Remove from the developable area a 5m buffer from the western boundary and plant with locally native shrubs - Provide mitigation for the increased recreational pressure on nearby LWS - Site access of LP1053 and LP1054 need to be linked to minimise additional accesses on to Brookfoot Lane 	

12 Brighthouse Housing Allocations

Site number LP1060

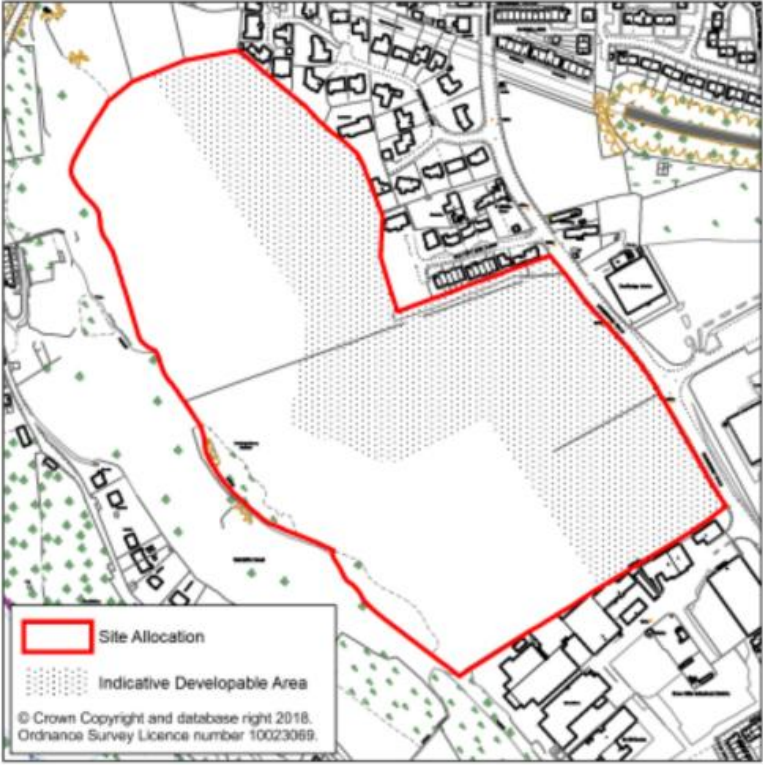
Land at Shirley Grove, Lightcliffe

Site area (Ha)	0.64	
Indicative developable site area	0.64	
Indicative density (dph)	36	
Indicative capacity	23	
Land type	Greenfield	
Ownership	Private	
Constraints	- Potential to increase surface water runoff	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment to include a Hydrological Assessment - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS for attenuation of surface water run off - Improvements to other open space in the area should be carried out. These could include additional equipment at the nearby play area at Bentley Avenue and the provision of goal posts on the grassed area at Aysgarth Avenue. - Development proposals should retain the hawthorn and elder hedgerow along the site boundary with Bentley Avenue or provide similar compensatory habitat within the site - Development proposals should retain the single cherry tree currently on site 	

12 Brighouse Housing Allocations

Site number LP1077

Southedge Quarry, Brighouse Road, Hipperholme

Site area (Ha)	13.04	 <p>The map shows a large area outlined in red, designated as the 'Site Allocation'. Within this area, a portion is shaded with a dotted pattern, representing the 'Indicative Developable Area'. The map includes surrounding roads, buildings, and green spaces. A legend at the bottom left of the map identifies the red outline as 'Site Allocation' and the dotted pattern as 'Indicative Developable Area'. Copyright information at the bottom of the map reads: '© Crown Copyright and database right 2018. Ordnance Survey Licence number 100023069.'</p>
Indicative developable site area	6.66	
Indicative density (dph)	26	
Indicative capacity	174	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Public Right of Ways (Brighouse 032 & 033) - Potential for increased surface water run-off - Traffic impact on A58 / A644 junction - Deciduous woodland on and adjacent to site - UK BAP Priority Habitat - Air Quality - Hipperholme AQMA (No.7) - Contaminated Land - Noise - Road traffic and adjacent industrial and commercial activities 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Evaluation of surface drainage network - Full masterplan and Transport Assessment/Travel Plan with assessments of junction to be agreed but including A58 / A644 junction - Ecological Management Plan - Contaminated land assessment - Noise impact assessment - Landscape Impact Assessment 	

12 Brighthouse Housing Allocations

Site Specific Considerations

- Provision of green and blue infrastructure on site such as SuDS and green roofs
- Provision of storage for storm water run-off is recommended
- Mitigating improvements required at A58 / A644 junction
- Remove deciduous woodland from developable area
- Retain and restore hedgerow; retain trees and shrubs where possible
- Plant dense locally native shrubs adjacent to woodland to prevent access except along rights of way
- Specify and implement other prescriptions to minimise impacts on the woodland due to increased recreational pressure
- Plant woodland and develop locally native grasslands in the remainder of the area excluded from the developable area
- Retention of the stone boundary wall where appropriate and practical
- Have regard to the West Yorkshire Low Emission Strategy which has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts
- Site requires masterplanning in accordance with Policy IM7

12 Brighouse Housing Allocations

Site number LP1078

Land between Dewsbury Road and New Hey Road, Rastrick

Site area (Ha)	10.57	
Indicative developable site area	5.12	
Indicative density (dph)	52	
Indicative capacity	267	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Contaminated land - UK BAP Priority Habitat and Wildlife Habitat Network - Rights of Way (Brighouse 104, 105, 109, 123) - TPO 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Land contamination assessment - Transport Assessment and Travel Plan - Preliminary Ecological Appraisal - Ecological Impact Assessment and Ecological Management Plan - Bat Survey 	

12 Brighouse Housing Allocations

Site Specific Considerations

- Provision of SuDS
- Open Space shall be provided as per the details approved in planning approval 19/00628/FUL for construction of 267 dwellings and public open space including demolition of buildings on land at New Hey Road, Delf Hill and Shannon Road, Mount Lane, Brighouse
- Implement guidance in the West Yorkshire Low Emission Strategy
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Exclude all areas of the Wildlife Habitat Network, the woodland and the 3 fields in the north east from the developable area
- Consideration of the guidance in the West Yorkshire Low Emission Strategy
- Good quality design and layout
- Site requires masterplanning in accordance with Policy IM7

12 Brighouse Housing Allocations

Site number LP1093

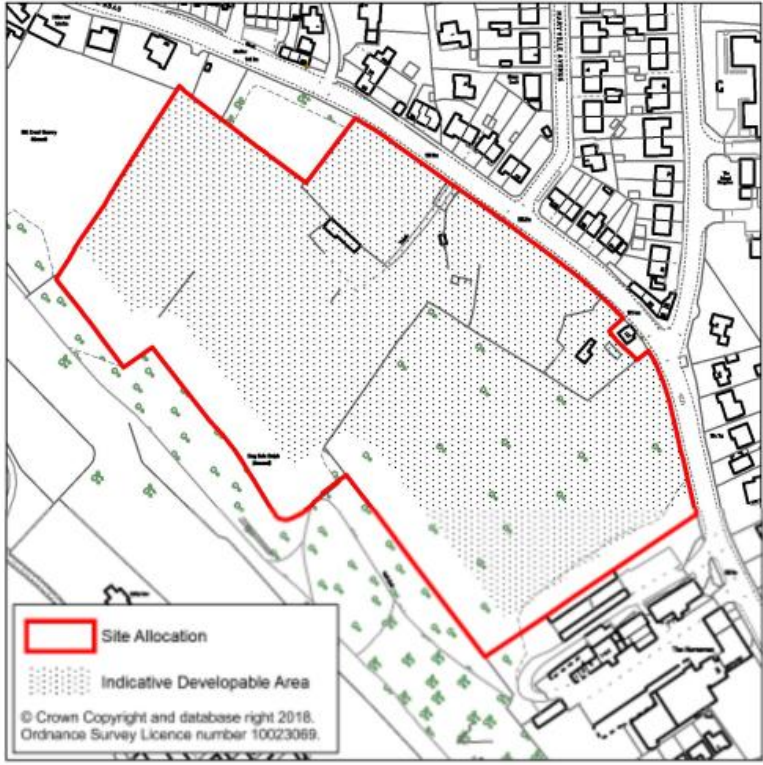
Former Hill Crest Quarry, Halifax Road, Hove Edge, Brighouse

Site area (Ha)	1.23	
Indicative developable site area	0.97	
Indicative density (dph)	36	
Indicative capacity	35	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Site adjacent to Calderdale Wildlife Habitat Network - Contaminated land - Air Quality - Proximity to Hipperholme AQMA (No 7) - Noise (road noise) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment to include Hydrological assessment - Protected Species Survey - Contaminated Land Assessment - Noise Impact Assessment - Landscape Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure such as SuDS and green roofs, taking into account biodiversity - Provision of storage for storm water run-off is recommended - 20m buffer from the woodland, planted with species rich native shrubs and hedgerows - Have regard to West Yorkshire Low Emission Strategy which has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts - Applicants should provide a joint access for LP1093 and LP1095 to minimise additional accesses on the local highway network 	

12 Brighthouse Housing Allocations

Site number LP1095

Halifax Road, Hove Edge, Brighthouse

Site area (Ha)	4.81	
Indicative developable site area	4.04	
Indicative density (dph)	37	
Indicative capacity	149	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - New access directly linked to Class A highways is not desirable - Potential for increased surface water run-off - Woodland / Wildlife Habitat Network runs along the SW boundary - Contaminated Land - Grade II Listed Buildings (108 to 112 Halifax Road) opposite site 	
Reports required	<ul style="list-style-type: none"> - Access Junction design on to A644 - Operational assessment to demonstrate no detriment to operation of A644 - Transport Assessment & Travel Plan - Flood Risk Assessment, informed by Hydrological Assessment - Protected Species Surveys - Contaminated Land Assessment - Landscape Impact Assessment 	

12 Brighouse Housing Allocations

Site Specific Considerations

- Localised widening would be required to provide a right-turn lane on the A644
- Provision of green and blue infrastructure including provision of SuDS and storage for storm water run-off. SuDS should take account of existing biodiversity.
- Access Junction design
- Applicants should provide a joint access for LP1093 and LP1095 to minimise additional accesses on the local highway network
- Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt
- New linear park and possible play equipment
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Mitigation measures identified in Contaminated Land Assessment

12 Brighouse Housing Allocations

Site number LP1116

Brighouse Road, Hipperholme

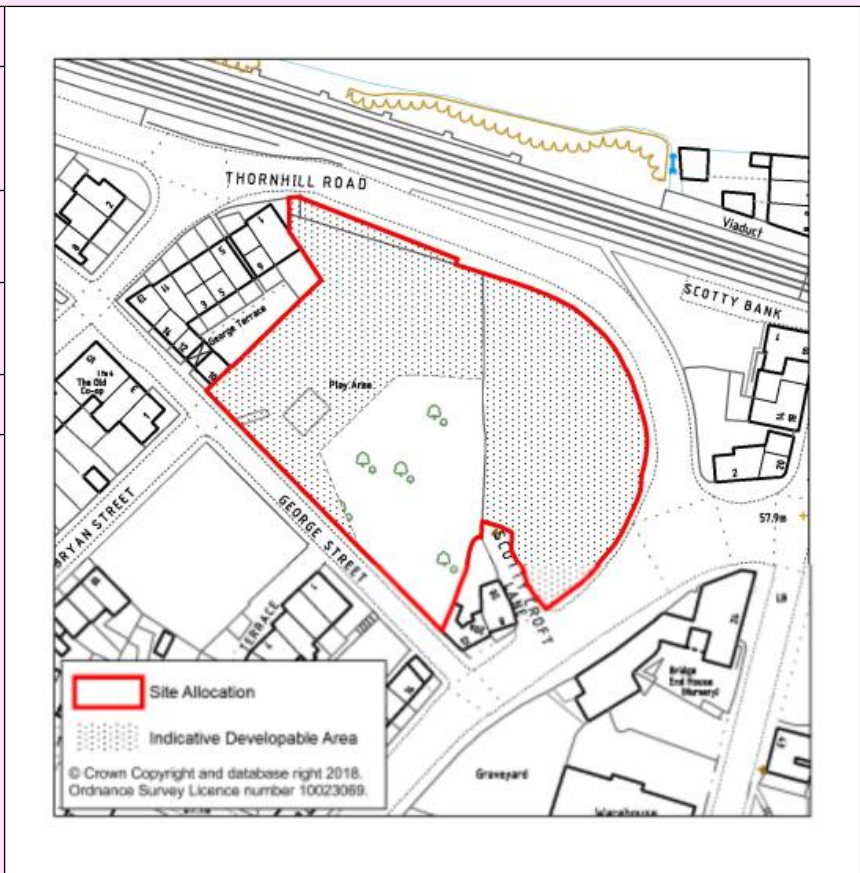
Site area (Ha)	1.83	
Indicative developable site area	1.04	
Indicative density (dph)	48	
Indicative capacity	50	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water run off - Access - Air quality - Ecology - UK BAP Priority habitat on site - Deciduous woodland - Heritage - Southedge House (Grade II listed) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment - Noise Impact Assessment (prior to development, to include the impact of industrial and road traffic noise upon residential amenity). - Protected Species Survey - Access Design/Third Party Land control 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Good acoustic design required for layout and house types - West Yorkshire Low Emission Strategy has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts. - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting 	

12 Brighouse Housing Allocations

Site number LP1322

George Street, Rastrick

Site area (Ha)	0.48
Indicative developable site area	0.36
Indicative density (dph)	181
Indicative capacity	65
Land type	Greenfield
Ownership	Public



Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off and flooding from Jumble Dyke - Access (Steep site) - Lowland mixed deciduous woodland in centre of site - Wildlife Habitat Network - Noise (Rail traffic) - Air Quality - Brighouse AQMA (No.6) - Contaminated Land - Loss of Open Space
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment - Transport Statement - Land Contamination Assessment - Noise Impact Assessment
Site Specific Considerations	<ul style="list-style-type: none"> - Defence lines and Flood resilience & resistance including SuDS if required - Circuitous alignment of the access road would be required - Remove woodland from developable area - Maintain and enhance the woodland corridor - Replacement play facilities should be provided at one of the nearby areas of amenity green space or facilities enhanced at Bramston Street play area - Consideration of West Yorkshire Low Emission Strategy

12 Brighthouse Housing Allocations

Site number LP1469

Land at Stoney Hill, Lillands Lane, Brighthouse

Site area (Ha)	0.46	<p>© Crown copyright and database rights 2021 Ordnance Survey 0100023069</p>
Indicative developable site area	0.46	
Indicative density (dph)	43	
Indicative capacity	20	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Noise (Rail traffic) - Potential contaminated land - Third party land for site access 	
Reports required	<ul style="list-style-type: none"> - Noise Impact Assessment - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations - Provision of SuDS - Highway improvements required to Stoney Hill from the Lillands Lane junction - Consider the impact on visual amenity currently provided by the site - Good acoustic design required for layout and house types - Standard trees should be retained where possible 	

12 Brighouse Housing Allocations

Site number LP1648

Land north of Crosslee, Brighouse Road, Hipperholme

Site area (Ha)	0.85	
Indicative developable site area	0.85	
Indicative density (dph)	48	
Indicative capacity	41	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Impact of A58 / A644 junction - Lowland mixed deciduous woodland a UK Biodiversity Action Plan priority habitat to the east of the site - Within Calderdale Wildlife Habitat Network - Proximity to Hipperholme AQMA (No. 7) - Potential contaminated land - Potential noise from industrial site to the south 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment (including assessment of Hipperholme crossroads) and Travel Plan - Contaminated Land Assessment - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Consideration to be given to multi-modal transport corridor improvements - Transport statement to demonstrate that development will not result in an unacceptable impact on highway safety, or result in a severe residual cumulative impact on the road network - Development of LP1648 to be designed to ensure access from LP0032 can be achieved - Exclude lowland mixed deciduous woodland a UK Biodiversity Action Plan priority habitat from site allocation - Have regards to the West Yorkshire Low Emission Strategy which has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts. 	

Site number LP1451

Land between Bradley Wood and Woodhouse Lane, Rastrick

Site area (Ha)	63.00	
Indicative developable site area	44.76	
Indicative density (dph)	28	
Indicative capacity	1,257	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Highways (Impact on the Strategic Highway Network; and significant traffic impact flows in central Brighouse) - Ecology (river and lowland mixed deciduous woodland to the south of the site both UK BAP priority habitats; species rich semi-improved grassland in the south central area and a short section of disused railway to the north-east fall within the Wildlife Habitat Network) - Heritage (Grade II Firth House; Grade II Listed Anchor Pit Lock to the east of the site; Class III Archaeological Site (PRN 2675) within the site; and The Gatehouse on Huddersfield Road which is undesignated) - Noise from motorway - Impact upon Brighouse AQMA - Toothill being monitored for traffic pollution - Rights of Way (Brighouse 093, 095, 124, 125) - Risk of ball strike on development adjacent to Augustinians Cricket Club 	

13 Brighouse Garden Suburbs

Reports required	<ul style="list-style-type: none">- Hydrological Assessment as part of a Flood Risk Assessment- Transport Assessment and Travel Plan- Ecological Appraisal including ecological surveys (such as Phase 1 habitat and protected species surveys) and an ecological record search with West Yorkshire EcologyEcological Impact Assessment and Ecological Management Plan will be required- Noise Impact Assessment- Predetermination Archaeological Evaluation- Health Impact Assessment- Air Quality Impact Assessment- Land Contamination Assessment- Masterplan
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13 Brighouse Garden Suburbs

Site Specific Considerations

- Provision of green and blue infrastructure including SuDS
- Topography and water features that affect the layout of the development
- Contribute to the additional schemes identified by the Highways England West Yorkshire Infrastructure Study and included in the Infrastructure Delivery Plan. Junction improvements around Brighouse.
- Provide a minimum stand-off from the river of 10m and 20m from Bradley Wood
- Provide for biodiverse recreational space within the development in order to reduce pressure on Bradley Wood Ancient Woodland.
- Provide funding for habitat protection
- SuDS scheme should take account of existing biodiversity and take the form of fen, marsh, wet woodland, wet grassland or standing water in basins
- Biodiversity mitigation/enhancement should provide locally native species rich unimproved grassland and locally native species rich hedgerows, restoring gaps in the Wildlife Habitat Network
- Masterplanning work to identify the location and typology breakdown of Open Space throughout the site. Provision on the allocation will be above the Open Space policy requirements.
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting
- Consider recommendations of the West Yorkshire Low Emission Strategy. West Yorkshire Low Emission Strategy has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts
- Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt
- Applications for development adjacent to Augustinians Cricket Club must undertake a ball strike risk assessment and as a minimum consider recreational cricket and ball speeds of up to 40 metres per second. Any mitigation package that the ball strike risk assessment advises should be built into the scheme by the developer; and be constructed and maintained in perpetuity at the developer's expense.
- Site requires masterplanning in accordance with Policy IM7
- Provision of one on-site, two-form entry primary school. Unless up-to-date pupil projections indicate to the contrary, the school will aim to open in September 2025 and will include early years provision.
- Masterplanning of site to include production of an infrastructure cost delivery plan to include phasing to indicate when key infrastructure will be required
- Retention and enhancement of existing Rights of Way on site (Brighouse 093, 095, 124, 125)
- Landscape and Visual Impact Assessment (LVIA) to be carried out as part of the masterplanning process
- Unless demonstrated otherwise through an up-to-date Transport Assessment, no more than 680 units shall be delivered in advance of the completion of the critical schemes listed in the IDP (2021). The IDP is a provisional list and is subject to change as masterplanning work progresses and the A641 business case is developed.
- The primary route will enter the site at a single access point from the A641 at the western boundary. It is not expected that there will be any other primary access points to the site.
- Secondary accesses to the site will be provided to the site via Ryecroft Lane and Woodhouse Gardens
- Ryecroft Lane will provide access to the new primary school and local centre
- Additional pedestrian and cycle accesses will be in appropriate locations providing linkages to the north, east, south and west
- Provision of a local centre which shall be constructed in the early phases of development

13 Brighouse Garden Suburbs

Site number LP1463

Land between Highmoor Lane and Bradford Road, Brighouse

Site area (Ha)	140.44	
Indicative developable site area	105.15	
Indicative density (dph)	19	
Indicative capacity	1,998	
Land type	Greenfield	
Ownership	Private / Public	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Highways (Impact on the Strategic Highway Network; and significant traffic impact flows in central Brighouse) - Ecology (Species rich acid and neutral grassland likely to be UK BAP priority habitat; Lowland mixed deciduous woodland; Wildlife Habitat Network; and Birds including curlew, lapwing, golden plover and tree sparrow) - Heritage (Grade II Woolrow and Woolrow Farmhouse; Class III Archaeological site PRN4062; Locally Listed Historic Park and Garden Wellholme Park; undesignated former railway structures) - Impact upon Brighouse AQMA - Turbines and potential of noise and shadow flicker - Contaminated land - Rights of Way (Brighouse 058, 059, 068, 070, 071, 072, 073, 138) 	

13 Brighouse Garden Suburbs

<p>Reports required</p>	<ul style="list-style-type: none"> - Hydrological Assessment as part of a Flood Risk Assessment - Transport Assessment - Ecological Appraisal including ecological surveys (such as Phase 1 habitat, botanical, protected species and ornithological surveys) and an ecological record searches with West Yorkshire Ecology and the Calderdale Bird Conservation Group - Ecological Impact Assessment and Ecological Management Plan will be required - Contaminated Land Assessment - Noise Impact Assessment - Predetermination Archaeological Evaluation - Masterplan
<p>Site Specific Considerations</p>	<ul style="list-style-type: none"> - Consideration of topography and water features that affect the layout of the development - Provision of green and blue infrastructure including SuDS - Contribute to the additional schemes identified by the Highways England West Yorkshire Infrastructure Study and included in the Infrastructure Delivery Plan Junction improvements around Brighouse - Remove Wildlife Habitat Network areas from proposed allocation - Ongoing grassland and woodland management for biodiversity enhancement - Masterplanning work to identify the location and typology breakdown of Open Space throughout the site. Provision on the allocation will be above the Open Space policy requirements. - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Development proposals will be required to demonstrate how the development will contribute to securing the repair of the Grade II Listed Woolrow - Consider recommendations of the West Yorkshire Low Emissions Strategy. West Yorkshire Low Emissions Strategy has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts. - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Site requires masterplanning in accordance with Policy IM7 - Provision of one on-site, two-form entry primary school. Unless up-to-date pupil projections indicate to the contrary, the school will aim to open in September 2025 and will include early years provision. - Masterplanning of site to include production of an infrastructure cost delivery plan to include phasing to indicate when key infrastructure will be required - Landscape and Visual Impact Assessment (LVIA) to be carried out as part of the masterplanning process - Masterplanning to ensure designs safeguard the character and identity of the Thornhills hamlet and the wooded valley slopes - Unless demonstrated otherwise through an up-to-date Transport Assessment, no more than 680 units shall be delivered in advance of the completion of the critical schemes listed in the IDP (2021). The IDP is a provisional list and is subject to change as masterplanning work progresses and the A641 business case is developed. - Provision of a local centre which shall be constructed in the early phases of development - Delivery of the Garden Suburb is feasible through provision of a spine road, however the final layout and access options will be refined through the masterplanning work - The primary school and local centre shall be accessed from the A643

14 Elland Housing Allocations

Site number LP0037

Long Heys Farm, Long Heys, Greetland

Site area (Ha)	0.95	
Indicative developable site area	0.80	
Indicative density (dph)	36	
Indicative capacity	29	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Holywell Brook (UK BAP priority habitat) - Wildlife Habitat Network - Potential to increase surface water run off - Grade II listed viaduct (220m south) / Grade II listed boundary marker on Jagger Bridge - Long Heys Farm (potential standoff) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, informed by a Hydrological Assessment - Transport Assessment - Ecological Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure, such as SuDS and green roofs - Leave a minimum stand off of 10m from Holywell Brook and plant with locally native species - Minimise light pollution and other disturbance to Holywell Beck - Building heights and materials need to be carefully considered - Existing trees should be retained wherever possible - Realignment of retaining wall of the adjacent area of the development - The listed boundary marker should be retained and protected during any construction works - Stand-off necessary if Long Heys Farm is operational - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

14 Elland Housing Allocations

Site number LP0065

Land north-west of Nab End Lane, West Vale, Elland

Site area (Ha)	1.00	<p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	0.65	
Indicative density (dph)	35	
Indicative capacity	23	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Wildlife Habitat Network /good quality semi-natural habitat - Access (topography) - Eastern field currently in equestrian use 	
Reports required	<ul style="list-style-type: none"> - Historical surface water flooding analysis and evaluation of the existing drainage network - Protected Species Survey - Third party land agreement - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Workhouse Lane widening to allow a two way flow of traffic, and the provision of pavements - Exclude the Wildlife Habitat Network from the eastern part of the site, and provide a 10m buffer around the western part 	

14 Elland Housing Allocations

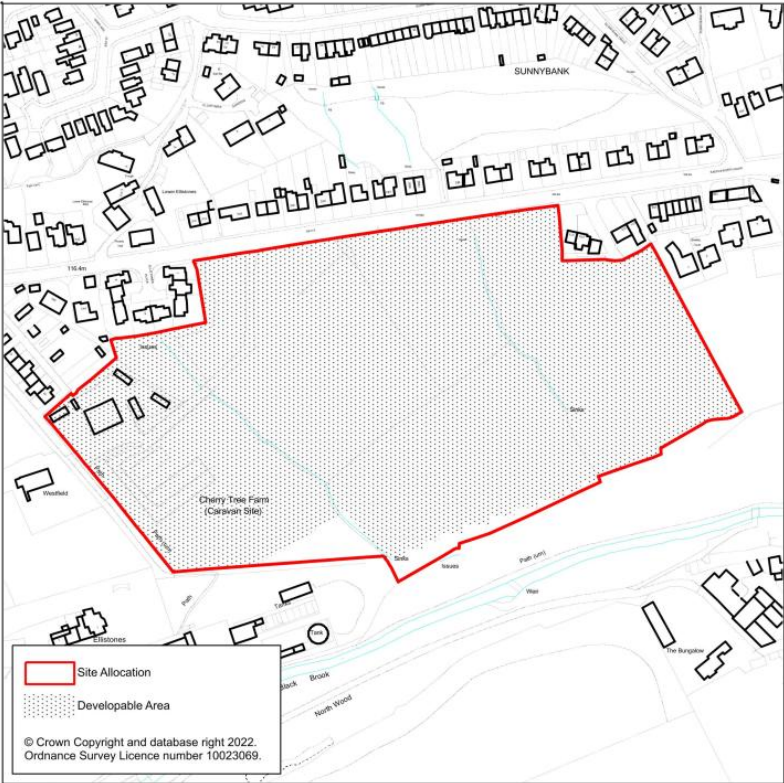
Site number LP0146

Land to the west of West View, Church Lane, Stainland

Site area (Ha)	0.86	
Indicative developable site area	0.86	
Indicative density (dph)	36	
Indicative capacity	31	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Stainland Conservation Area - Flood storage area 	
Reports required	<ul style="list-style-type: none"> - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Measures to discourage the use of the Church Lane junction with Stainland Road - Consider the impact on visual amenity currently provided by the site - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

Site number LP0177

Land adjacent to Ellistones Place, Saddleworth Road, Greetland

Site area (Ha)	6.03	
Indicative developable site area	5.83	
Indicative density (dph)	30	
Indicative capacity	175	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Sunny Bank Clough and Daleside Clough watercourses - Bradley Hall Farmhouse (Grade II) - Wildlife Habitat Network - Potential air quality impact - Black Brook (UK BAP priority habitat) - Sensitive adjacent uses (school, camp site, farm, industry) 	
Reports required	<ul style="list-style-type: none"> - Air Quality Assessment - Flood Risk Assessment - Topographical Survey, Transport Assessment, Travel Plan and operational assessment of local road network - Noise Impact Assessment - Ecological Impact Assessment - Ecological Record search with West Yorkshire Ecology - After the masterplan is produced, an Ecological Impact Assessment and Ecological Management Plan will be required. Reports should comply with CIEEM guidance 	

14 Elland Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none"> - Information detailing site connectivity and safe access by non-car modes and required improvements identified - Consideration to recommendations provided within the FRA - Maintain and enhance the woodland margins to provide screening - Development to consider layout and design to avoid flood risk impacts and provision of green and blue infrastructure on site (such as SuDS & green roofs) is required to maximise infiltration and storage of rain water. A SuDS scheme should take account of existing biodiversity and take the form of fen, marsh, wet woodland, wet grassland or standing water in basins. - Realignment of retaining wall of the adjacent area of the development - Reduce developable land by excluding the Wildlife Habitat Network in its entirety together with a 10m buffer - Biodiversity mitigation / enhancement should provide locally native species rich unimproved grassland and locally native species rich hedgerows and native woodland - Mitigate for the increased recreation pressure on the Black Brook by surfacing the streamside path with occasional fencing to allow recolonisation, restoring grasslands and planting dense native shrubs by the stream at the east of the site - Retain and enhance existing hedgerows and woodland - Retain and enhance watercourses and associated vegetation - Consider the impact on visual amenity currently provided by the site - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Necessary standoffs between development and sensitive adjacent uses (school, campsite, farm, industry) - Strong and defensible boundary between the New Housing Site and the Green Belt will be required - Provision of Open Space - Consideration to guidance provided within the West Yorkshire Low Emission Strategy - Site requires masterplanning in accordance with Policy IM7
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14 Elland Housing Allocations

Site number LP0952

Land at New Gate Farm, Saddleworth Road, Greetland

Site area (Ha)	10.63	
Indicative developable site area	8.70	
Indicative density (dph)	33	
Indicative capacity	286	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Crawstone Clough watercourse - Risk of surface water flooding - Rights of Way (Elland 052) - Industrial site to south (Sia Fibral) - Wildlife Habitat Network. - Deciduous woodland (UK BAP priority habitat) - Potential air quality impact 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Assessment - Transport Assessment - Travel Plan - Predetermination Archaeological Evaluation - Bat and Great Crested Newt surveys - Air Quality Impact Assessment; Noise Impact Assessment 	

14 Elland Housing Allocations

Site Specific Considerations

- Provision of green and blue Infrastructure on site such as SuDS and green roofs to reduce the infiltration rate of precipitation as well as provide storage for storm water run-off. The SuDS scheme should take account of existing biodiversity and take the form of wet woodland, fen, marsh, wet grassland or standing water in basins.
- The WHN and a 10 - 20 m buffer should be excluded from the developable area and planted with locally native trees and shrubs
- Existing hedgerows should be retained and restored. Additional locally native species rich hedgerows should be planted. Trees should be retained where possible.
- Provision of Open Space
- The stone boundary walls around the site should be retained wherever possible
- Safeguard Right of Way (Elland 052)
- Strong and defensible boundary between the New Housing Site and the Green Belt will be required
- Have regard to the West Yorkshire Low Emission Strategy which has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts.
- Creation of a gateway into Greetland at the north west corner of the site. The land will be free from development and landscaped to ensure the provision of an attractive gateway.
- Site requires masterplanning in accordance with Policy IM7

14 Elland Housing Allocations

Site number LP0964

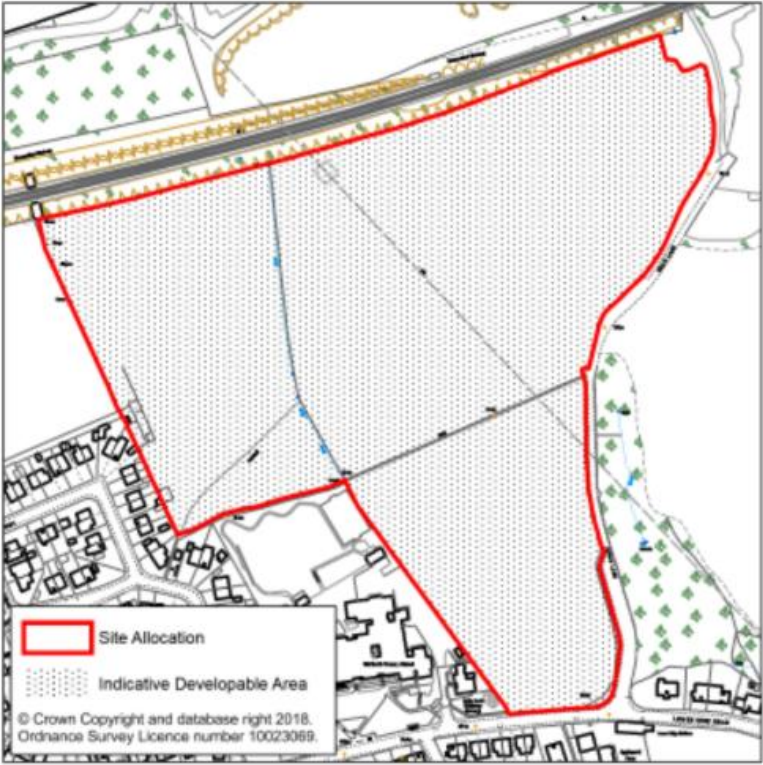
Land off Rochdale Road, West Vale, Elland

Site area (Ha)	0.63	
Indicative developable site area	0.49	
Indicative density (dph)	31	
Indicative capacity	15	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Wildlife Habitat Network - Lowland Mixed Deciduous Woodland & Acid Grassland - UK BAP Priority Habitats - Site access - gradient constraints 	
Reports required		
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Remove Lowland Mixed Deciduous Woodland from the developable area - Maintain and enhance a belt of acid grassland through any development along the southern boundary 	

14 Elland Housing Allocations

Site number LP0978

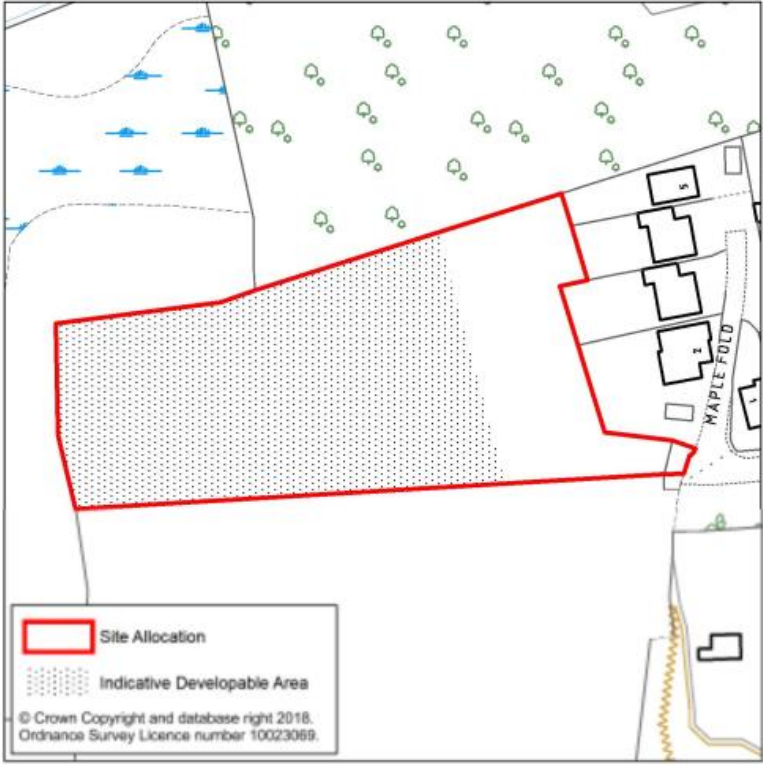
Land off Lower Edge Road/Shaw Lane, Elland

Site area (Ha)	8.28	
Indicative developable site area	8.28	
Indicative density (dph)	30	
Indicative capacity	248	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Wildlife Habitat Network - Species rich semi-improved grassland (UK BAP Priority habitat) - Strangsty Wood Local Wildlife Site - Cromwell Bottom Local Nature Reserve/Local Wildlife Site - Barn to Appleyard Farm (Grade II) - Archaeological Site PRN2581 (Site of possible medieval settlement) - Rail traffic noise - Adjacent school and employment uses 	
Reports required	<ul style="list-style-type: none"> - Noise Impact Assessment - Desk based assessment and archaeological field evaluation - Transport Assessment - Flood Risk Assessment - Ecological Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Provision of Open Space 	

14 Elland Housing Allocations

Site number LP1030

Land adjoining South Parade, Adj Maple Fold, Elland

Site area (Ha)	0.54	 <p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	0.39	
Indicative density (dph)	36	
Indicative capacity	14	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Wildlife Habitat Network - Deciduous woodland (UK BAP Priority habitat) - Blackley Baptist Church, Blackley Chapel House and Prospect View 3 listed buildings 250m south of site (Grade II listed) - Existing industrial and commercial development to south of site 	
Reports required	<ul style="list-style-type: none"> - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Provision of green and blue infrastructure on site such as SuDS and green roofs - Reduce developable area by 30% at eastern side of site and plant with locally native trees and shrubs - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting 	

14 Elland Housing Allocations

Site number LP1283

Glenholme, Green Lane, Greetland

Site area (Ha)	0.51	
Indicative developable site area	0.30	
Indicative density (dph)	36	
Indicative capacity	11	
Land type	Mixed	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Land drainage (historical flooding) - Mature woodland - Property currently in use 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Hydrological Assessment - Ecological Survey - Amphibian and Bat surveys 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on site such as SuDS and green roofs - Woodland should be retained / enhanced 	

14 Elland Housing Allocations

Site number LP1567

Land adjacent to Exley Lane, North of Elland

Site area (Ha)	20.54	
Indicative developable site area	15.46	
Indicative density (dph)	29	
Indicative capacity	450	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water flooding - Plains Lane Drain and Wood Nook Drain - Wildlife Habitat Network - Right of Way - Elland 011 (outside developable area) - Elland Park Wood Ancient Woodland and Local Wildlife Site - Archaeological Site PRN3995 (Elland Park – Medieval Deer Park) - Archaeological Site PRN10978 (Farm buildings associated with Elland Old Hall) - Park Wood Crematorium (a locally important Historic Park and Garden) - Noise from industrial and commercial uses / road traffic noise 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to be informed by a Hydrological Assessment of Plains Lane Drain and Wood Nook Drain - Transport Assessment and Travel Plan including assessments of local junctions - Predetermination Archaeological Evaluation - Noise Impact Assessment - Preliminary Ecological Appraisal - Ecological Impact Assessment and Ecological Management Plan 	

14 Elland Housing Allocations

Site Specific Considerations

- Provision of blue and green infrastructure on site (such as SuDS & green roofs) is required to maximise infiltration and storage of rain water. The SUDs scheme should take account of existing biodiversity and take the form of fen, marsh, wet woodland, wet grassland or standing water in basins.
- The impact on views from the Crematorium should be considered
- A site specific policy is required to ensure the retention of a strong and defensible boundary between the allocation for housing and the Green Belt
- The developable area should be reduced by providing a 10m buffer adjacent to the Wildlife Habitat Network on the north section and adjacent to the railway, Elland Park Wood and the woodland by the caravan park on the south section
- As proposed, to restore a gap in the Wildlife Habitat Network, a belt of native woodland should be planted
- Increased recreation impact on nearby sites of ecological importance will need mitigation
- Remove the section of the allocation from within Elland Park from the developable area
- Full assessment of impacts on Elland Park
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings
- Site layout should take into account the steep topography of the north western slopes, and consideration be given to using this land for landscaping/open space. The precise extent of landscaping/open space to be determined through masterplanning.
- Site requires masterplanning in accordance with Policy IM7

Site number LP1616

Land at Ainley Top, South West of the Junction of the A643/New Hey Road, Ainley Top, Elland

Site area (Ha)	2.19	
Indicative developable site area	1.60	
Indicative density (dph)	30	
Indicative capacity	48	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential risk of increase surface water flooding - Gernhill Wood Ancient Woodland - Castle Hill (Scheduled Ancient Monument) - Park Gates and Pair of Lodges to Fixby Hall (Grade II) - Road traffic noise 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include Hydrological assessment - Transport Assessment - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Green and blue infrastructure on site such as SuDS and green roofs - Plant native species-rich hedgerows along boundaries - Provide mitigation for adverse impact on Gernhill Wood Ancient Woodland by incorporating accessible natural greenspace, with species-rich locally native grassland, in the design. - Consideration to advice contained within the West Yorkshire Low Emission Strategy - Provision of Open Space - Strong and defensible boundary between the New Housing Site and the Green Belt will be required - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Site requires masterplanning in accordance with Policy IM7 	

14 Elland Housing Allocations

Site number LP1625

Land to the west of Silverdale Terrace, Greetland

Site area (Ha)	1.01	
Indicative developable site area	1.01	
Indicative density (dph)	30	
Indicative capacity	30	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Risk of surface water flooding - Site of archaeological interest (SWYOR-6B3838) 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Flood Risk Assessment - Post-determination archaeological condition 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on site such as SuDS and green roofs - Plant locally native species rich hedgerows on boundaries - Provision of Open Space - Retention of the stone boundary walls and any other features of historic interest should be sought wherever possible - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Site requires masterplanning in accordance with Policy IM7 	

14 Elland Housing Allocations

Site number LP1657

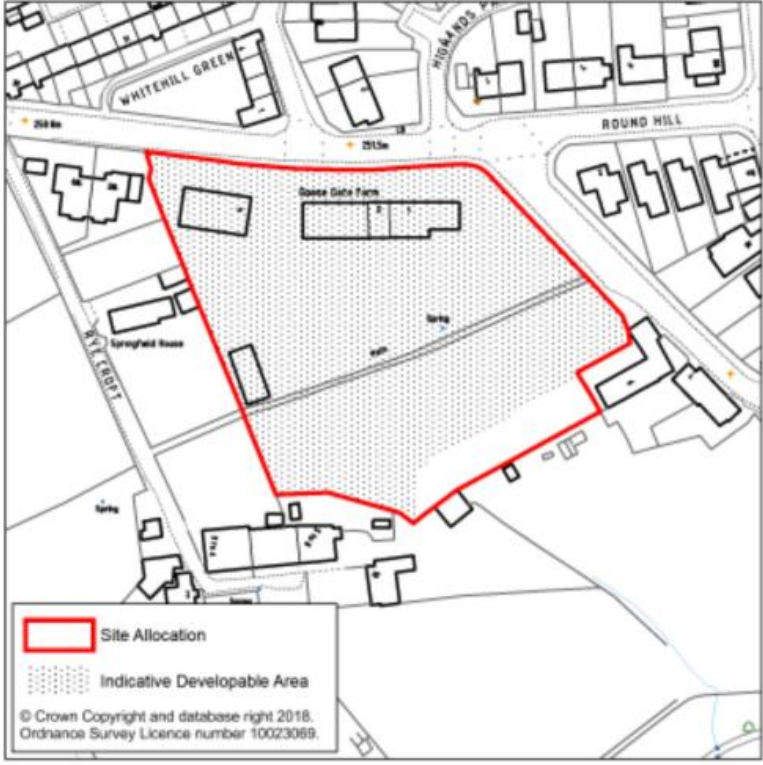
Land at Whitwell Green Lane, Elland

Site area (Ha)	0.75	
Indicative developable site area	0.75	
Indicative density (dph)	40	
Indicative capacity	30	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Commercial business (south west) - Elland New Hall (Grade I listed building) 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Noise Impact Assessment - Flood Risk Assessment. 	
Site Specific Considerations	<ul style="list-style-type: none"> - Application of SUDS - Detailed investigation into capacity building of the existing drainage network - Any development on the site should be of an appropriate scale and height to avoid further harm to the setting of the grade I listed Elland New Hall - Traffic calming measures between the site and Dewsbury Road - Improvements at the Dewsbury Road junction including providing a right turn lane pocket with white lining 	

15 Halifax Housing Allocations

Site number LP0046

Goosegate Farm, Heathy Lane, Holmfield

Site area (Ha)	0.74	 <p>The map shows the site allocation for Goosegate Farm, Heathy Lane, Holmfield. The site is outlined in red and is located between Heathy Lane to the west and Round Hill to the east. The indicative developable area is shown with a dotted pattern. The map also shows surrounding areas like Whitehill Green and Round Hill. A legend indicates that the red outline represents the Site Allocation and the dotted pattern represents the Indicative Developable Area. The map is dated 2018 and has an Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	0.69	
Indicative density (dph)	36	
Indicative capacity	25	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Local Wildlife Site - Beechwood Park LNR/LWS - Contaminated land - Grade II Listed Building - Threapcroft Farm to the west - Rights of Way (Halifax 251) 	
Reports required	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations - Topographical Survey & Third Party Land - Contaminated Land Assessment - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure including SuDS - Reduce developable land by providing a buffer of 10m from the LWS, and plant with locally native scrub and acid grassland - Retain boundary trees - Carefully considered design to reduce impact on heritage assets including existing trees should be retained to boundaries and retention of historic stone boundary walls should be sought wherever possible 	

15 Halifax Housing Allocations

Site number LP0103

Land at Horley Green Road, Claremount, Halifax

Site area (Ha)	1.25	
Maximum developable site area	0.25	
Maximum density (dph)	56	
Maximum capacity	14	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Surface water run off - Ecology - Mid Calder Valley - Within MSA - Contaminated Land - Air Quality 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - must include assessment of A58/New Bank Junction - Access Design - Protected Species Survey - Contaminated Land Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS through green and blue infrastructure - Restore an area of lowland meadow to be used as open space by supplementary planting with appropriate species and management - Consider recommendations of the West Yorkshire Low Emission Strategy adopted by the Council. This gives guidance on good practice for mitigating air quality impacts. - Development proposals should include compensatory on-site open space provision that provides significant qualitative enhancements to the remaining Public Open Space at the site. Compensatory provision should include an equipped play area and other appropriate facilities/features with the remaining Public Open Space being located where visibility is maximised, and it makes a positive contribution to the appearance and setting of the surrounding street scene. 	

15 Halifax Housing Allocations

Site number LP0164

Site of High Level Works, Pellon Lane, Pellon

Site area (Ha)	0.38	
Indicative developable site area	0.38	
Indicative density (dph)	89	
Indicative capacity	34	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Archaeology - PRN6495 - Hope Leather Works, Pellon Lane - Contaminated land - Ecology - UK BAP Priority habitat on site - deciduous woodland 	
Reports required	<ul style="list-style-type: none"> - Protected Species Survey - Transport Assessment - Pre-determination Archaeological Evaluation - Contaminated Land Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Plant locally native hedgerow and provide bat tubes - Access design/layout/pedestrian crossing details 	

Site number LP0234

Swinton, Hays Lane, Mixenden

Site area (Ha)	3.32	
Indicative developable site area	2.51	
Indicative density (dph)	39	
Indicative capacity	98	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water run off - Flood Risk - Contaminated Land - Within MSA - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment - Travel Plan with assessments of Raw Lane/A629 and Moor End Rd / Heath Hill Rd - Contaminated Land Report - Flood Risk Assessment - Landscape Impact Assessment - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

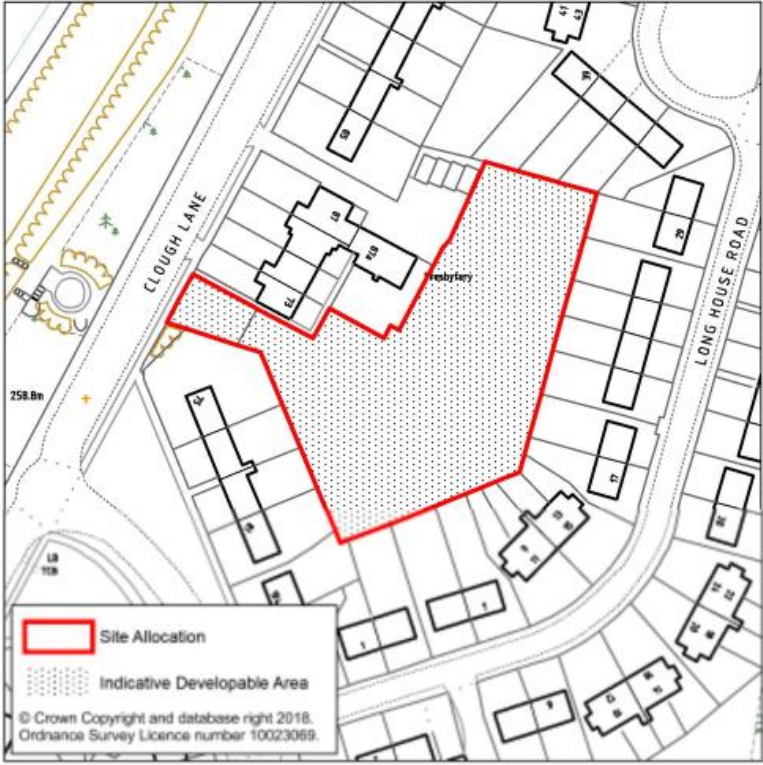
15 Halifax Housing Allocations

Site Specific Considerations

- Reduce developable land by providing a buffer of 10m around the site and around the woodland within the site
- Retain the vegetation within these buffers and supplementary plant with locally native shrubs
- Restore an area of lowland meadow to be used as open space by supplementary planting with appropriate species and management
- Provision of SuDS
- Provision of green and blue infrastructure
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on- site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

Site number LP0238

Land at rear of former St Bernadette's Church, Clough Lane, Mixenden

Site area (Ha)	0.31	
Indicative developable site area	0.31	
Indicative density (dph)	39	
Indicative capacity	12	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Capacity building of existing drainage network - Transport Statement - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulation Assessment (HRA) 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS and network capacity building - Assessment may be required of Clough Lane / Mixenden Road mini-roundabout - Plant area of dense native shrubs - Ensure that adverse effects on the integrity of the SPA and SAC are avoided - Where likely significant effects have not been ruled out: <ul style="list-style-type: none"> - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds - Monitoring of impacts to assess bird use over time 	

15 Halifax Housing Allocations

Site number LP0242

Land opposite 109-119, Mixenden Road, Mixenden

Site area (Ha)	0.40	
Indicative developable site area	0.40	
Indicative density (dph)	35	
Indicative capacity	14	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Surface water run off - Access - Sewer - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Access Design - Transport Statement - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

15 Halifax Housing Allocations

Site Specific Considerations

- Provision of SuDS
- Provision of green and blue infrastructure
- Provision of Open Space (amenity greenspace)
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

15 Halifax Housing Allocations

Site number LP0261

Land at Turner Avenue South, Ovenden

Site area (Ha)	2.68	<p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	2.68	
Indicative density (dph)	29	
Indicative capacity	77	
Land type	Mixed	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Open Space - amenity space, provision for children & teenagers, outdoor sports facilities - Land Contamination - Potential to increase surface water run off 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment & Travel Plan (subject to scoping agreement with Highways DM) - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Development proposals for LP0261, LP1368 and LP0523 should include the provision of a local park with children's play facilities on LP0261 or LO0523 to mitigate loss of open space. - Development proposals should include suitable mitigation for the loss of land that was last used as a Multi-Use Game Area (MUGA). Compensatory Open Space provision should include qualitative improvements to other 3G pitches/MUGAs in the local area and should be calculated in conjunction with sites LP0523 & LP1368. - Development proposals should retain the hedgerows and standard trees located to the north of Furness Gardens 	

15 Halifax Housing Allocations

Site number LP0353

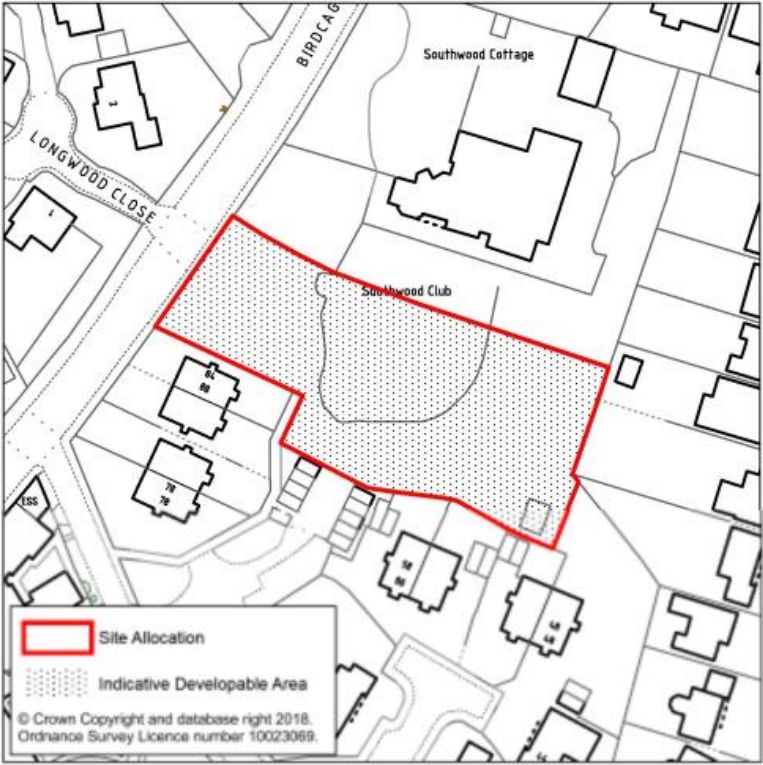
Land to the rear of 109 Fairfax Crescent, Southowram

Site area (Ha)	0.32	
Indicative developable site area	0.32	
Indicative density (dph)	28	
Indicative capacity	9	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run off - Access - Archaeological site - PRN6090 (Z-battery at Southowram) 	
Reports required	<ul style="list-style-type: none"> - Capacity building of existing drainage network - Transport Statement & Access Design - Post-determination by archaeological condition 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Provision of green and blue infrastructure - Capacity building of existing drainage network and well-planned site investigations 	

15 Halifax Housing Allocations

Site number LP0400

Land off Birdcage Lane, Savile Park, Halifax

Site area (Ha)	0.29	
Indicative developable site area	0.29	
Indicative density (dph)	21	
Indicative capacity	6	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flood risk - Site within Savile Park Conservation Area 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, including a Hydrological Assessment - Transport Statement - Bat Method Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Appropriate lighting scheme should be provided to mitigate against adverse ecological impacts - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Retention and repair of the stone boundary wall - Existing mature trees to be retained 	

15 Halifax Housing Allocations

Site number LP0407

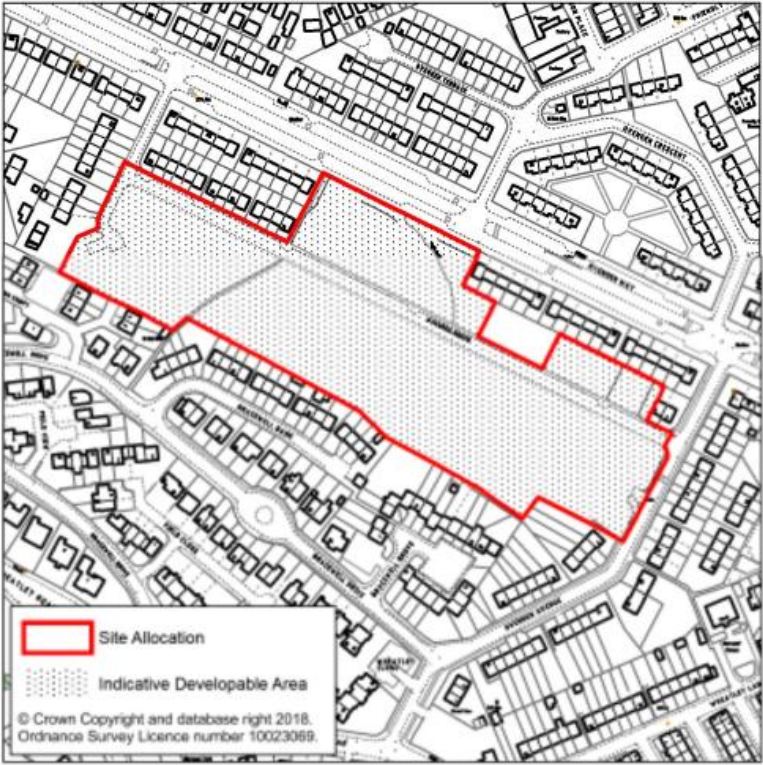
Spring Hall Mills, Mile Cross Road, Halifax

Site area (Ha)	0.47	
Indicative developable site area	0.47	
Indicative density (dph)	35	
Indicative capacity	16	
Land type	Brownfield	
Ownership	Private	
Constraints	- Contaminated Land	
Reports required	<ul style="list-style-type: none"> - Contaminated Land Assessment - Transport Assessment and Access Junction Design 	
Site Specific Considerations	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations - Provision of SuDS 	

15 Halifax Housing Allocations

Site number LP0452

Land at Ovenden Green, Ovenden

Site area (Ha)	2.44	 <p>The map shows a residential area with a large site allocation outlined in red. The site allocation is located between Ovenden Way and Ovenden Crescent. A legend indicates that the red outline represents the 'Site Allocation' and the dotted area represents the 'Indicative Developable Area'. The map also shows surrounding streets and buildings.</p> <p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 100023069.</p>
Indicative developable site area	2.44	
Indicative density (dph)	40	
Indicative capacity	98	
Land type	Greenfield	
Ownership	Private	
Constraints	- Potential for development to increase surface water run-off	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment including capacity building of existing drainage network and well-planned site investigations - Transport Assessment and Travel Plan 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Junction mitigation may be required at Ovenden Way/A629 - Development proposals should include the provision of on-site open space facilities and/or the enhancement/provision of open space facilities within the catchment of the development - Development proposals should include the provision of a community garden/allotment and a small local play area 	

Site number LP0454

Land off Wheatley Road, Lee Mount, Halifax

Site area (Ha)	1.06	
Indicative developable site area	0.66	
Indicative density (dph)	21	
Indicative capacity	14	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Surface water flooding and potential for development to increase run-off - Wildlife Habitat Network - Site access would require significant earthworks due to changes in levels 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Statement and access proposals with design of access road taking into account retaining wall and gradient of site - Topographical Survey - Ecological Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations - Surface water management and provision of SuDS - Remove part of the site from developable area to mitigate against ecological constraints 	

15 Halifax Housing Allocations

Site number LP0478

Hartwell Ford garage, Skircoat Road, Halifax

Site area (Ha)	0.28	
Indicative developable site area	0.28	
Indicative density (dph)	40	
Indicative capacity	11	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flood risk - Proximity of site to football ground and impacts on residential amenity - Land contamination 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Surface water management and provision of SuDS - Consider proximity to football ground in design and layout of dwellings 	

Site number LP0523

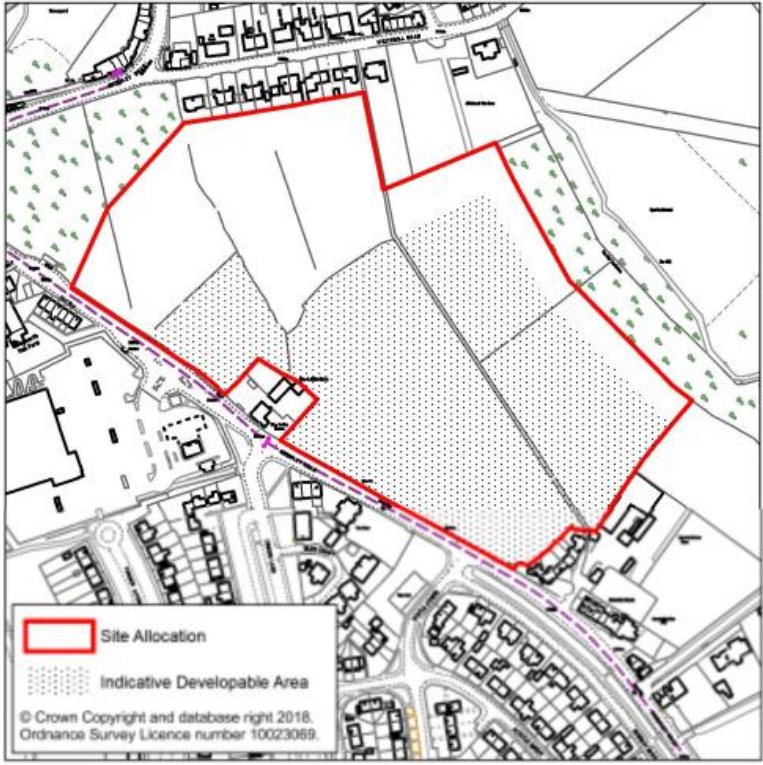
Land at Furness Avenue, Illingworth

Site area (Ha)	3.45	
Indicative developable site area	3.45	
Indicative density (dph)	46	
Indicative capacity	158	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run-off - Possible land contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment & Travel Plan - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Capacity building of existing drainage network and well-planned site investigations - Provision of SuDS - Potential mitigation at A629 / Shay Lane Junction (congestion point) - Development proposals should retain the hedgerows and standard trees located to the north of Furness Gardens - Development proposals for LP0261, LP1368 and LP0523 should include the provision of a local park with children's play facilities on LP0261 or LO0523 to mitigate loss of open space. - Development proposals should include suitable mitigation for the loss of land that was last used as a Multi-Use Game Area (MUGA). Compensatory Open Space provision should include qualitative improvements to other 3G pitches/MUGAs in the local area and should be calculated in conjunction with sites LP0261 & LP1368. 	

15 Halifax Housing Allocations

Site number LP0531

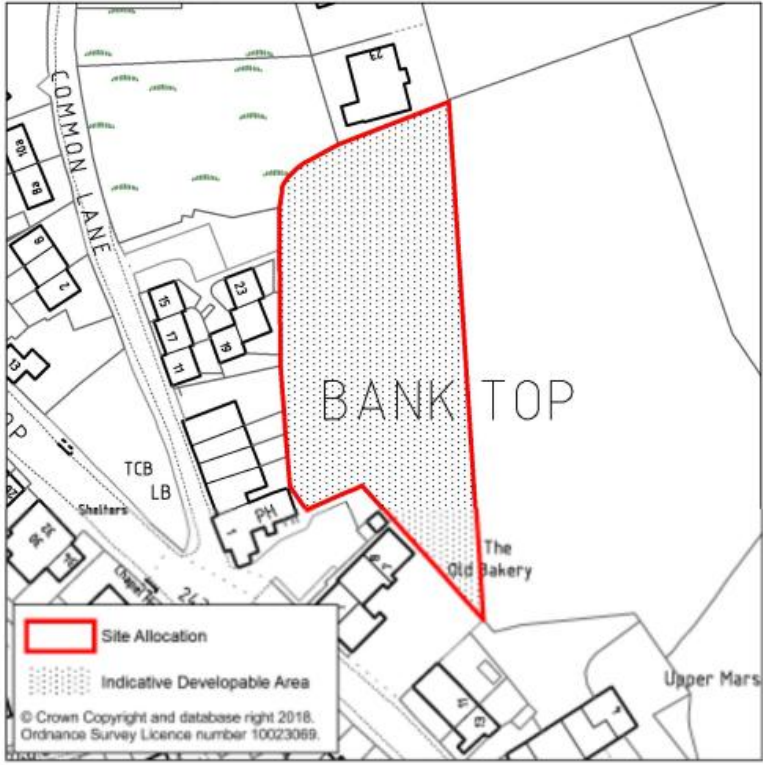
Land off Whitehill Road, Keighley Road, Ilkley

Site area (Ha)	7.16	
Indicative developable site area	4.33	
Indicative density (dph)	29	
Indicative capacity	127	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Surface water flooding and potential for development to increase surface water run-off - Site access in relation to location on A629 and entrance to Morrisons supermarket - Adjacent Beechwood Park Local Wildlife Site/Local Wildlife Site - Entirely within Wildlife Habitat Network 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment and Travel Plan plus proof that a new access can be created without undue impact on the A629 and feasibility of re-locating the bus layby and stop - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Evaluation of existing drainage network and suitability of SuDS - Creation of new access without undue impact on the A629 and feasibility of relocating the bus layby and stop - Provide a 20m buffer from the Local Wildlife Site planted with an MG1e type meadow mix and left unmanaged to scrub over - The field to the north as shown should be left as MG6 grassland and grazed or cut with a view to moving towards acid to neutral species rich grassland - Consider the impact on visual amenity currently provided by the site - An area of at least 35m from Mason's Green Farm should be kept free of residential properties including gardens, to ensure appropriate separation distance is maintained to protect the amenity of the development - Consideration to recommendations in the West Yorkshire Low Emission Strategy 	

15 Halifax Housing Allocations

Site number LP0683

Land at Bank Top/Common Lane, Halifax

Site area (Ha)	0.32	
Indicative developable site area	0.32	
Indicative density (dph)	38	
Indicative capacity	12	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water drainage - Access design and safety - Heritage - impact on setting of Upper Marsh Farmhouse and attached barn and Law Hill House and 39 Law Lane (Grade II Listed Buildings) - Noise/Odours - commercial premises/adjacent agricultural use 	
Reports required	<ul style="list-style-type: none"> - Noise impact assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Layout and design to avoid flood risk impacts; provision of blue and green infrastructure on-site (such as SuDS & Green Roofs) to maximise infiltration and storage of rainwater; assessment of drainage network - Access Design and Safety Auditing - Planting of native species rich hedgerow on south western boundary - Visual impact of development to be considered. Consideration in design and layout to commercial and agricultural uses with appropriate stand offs included. - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

15 Halifax Housing Allocations

Site number LP0814

Land at Richmond Street, Stannary Place, Halifax

Site area (Ha)	0.98	
Indicative developable site area	0.98	
Indicative density (dph)	55	
Indicative capacity	54	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Land contamination - Potential disturbance from adjacent depot 	
Reports required	<ul style="list-style-type: none"> - Transport Statement is required relating to the A58/A629/Orange Street Roundabout. - Contaminated Land Assessment - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Design and layout to address potential to increase surface water flooding - Stand off to offset disturbance from Council Depot should this remain operational - Development proposals to include open space provision - Site to be linked into overall regeneration masterplan - Ecological enhancements 	

15 Halifax Housing Allocations

Site number LP0815

Works Depot, Stannary Place, Halifax

Site area (Ha)	1.33	
Indicative developable site area	1.33	
Indicative density (dph)	38	
Indicative capacity	51	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Land contamination - Potential disturbance from adjacent depot 	
Reports required	<ul style="list-style-type: none"> - Transport Statement is required relating to the A58/A629/Orange Street Roundabout - Contaminated Land Assessment - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Design and layout to address potential to increase surface water flooding - Stand off to offset disturbance from Council Depot should this remain operational - Development proposals to include open space provision - Site to be linked into overall regeneration masterplan - Ecological enhancements 	

15 Halifax Housing Allocations

Site number LP0950

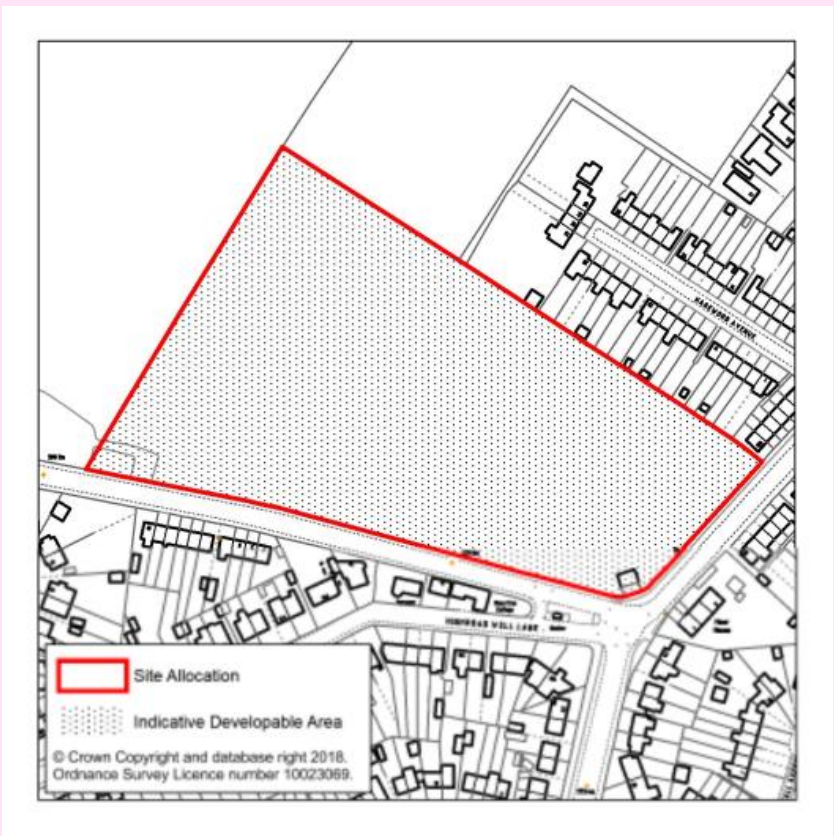
Beacon Lodge Quarry, Long Lane, Halifax

Site area (Ha)	2.16	
Indicative developable site area	2.16	
Indicative density (dph)	30	
Indicative capacity	64	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access - limitations due to width - Land drainage issues - Surface water management - Visual impact and public right of way on western boundary (Halifax 589) - Heritage - impact on views of Beacon Hill - Minerals Safeguarding Area / within boundary of Beacon Hill Quarry - Possible contaminated land 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Landscape Impact Assessment and a Heritage Impact Assessment. - Land Stability Survey - Contaminated Land Survey - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - SuDS to manage surface water - Plant hedgerow on southern boundary - Visual impact of any development should be considered and the public right of way (Halifax 589) safeguarded - Retention of the stone boundary walls should be sought wherever possible and in particular the high dry stone wall on the eastern side of the site - Mitigation to address land contamination issues - Consideration to Landscape Impact and Heritage Impact Assessments - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

15 Halifax Housing Allocations

Site number LP0968

Land at West End Golf Club, Paddock Lane, Highroad Well, Halifax

Site area (Ha)	2.70	
Indicative developable site area	2.70	
Indicative density (dph)	30	
Indicative capacity	81	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Noise from Golf Club House - Loss of open space (part of Golf Club) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment & Travel Plan with access design and mitigation proposals 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Access and setting back of boundary walls - Retention of stone boundary walls and of trees - Assessment of any harm to Heritage Assets in neighbouring area - Robust boundary between allocation and Golf Club; stand off and any necessary physical mitigation between allocation and club house - Development proposals should include suitable mitigation to compensate for the loss of existing on-site open space. The loss of part of the golf club (1.5 holes) should be compensated for by re-providing this on the adjoining public open space located at Roils Head playing fields. The consequential loss of Public Open Space should be compensated for by making qualitative improvements to the remaining open space and the clubhouse and by undertaking suitable ecological enhancements both on-site and in the immediate locality. - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

15 Halifax Housing Allocations

Site number LP0983

Land at Maltings Road, Wheatley

Site area (Ha)	1.35	
Indicative developable site area	0.86	
Indicative density (dph)	35	
Indicative capacity	30	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Historic land drainage issues - UK BAP Priority habitat on site - deciduous woodland - Potential for contaminated land - Noise in relation to nearby depot - Old Maltings at Fountain Head Brewery (Grade II Listed Building) 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment - Contaminated Land Assessment - Noise Impact Assessment - Flood Risk Assessment - Woodland Management Plan 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS; Provision of green and blue infrastructure; Provision of storage for storm water run-off; realignment of retaining wall of the adjacent area. - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Deciduous woodland to remain excluded from the developable land; woodland management to be prepared and implemented; boundary trees and shrubs to be retained - Mitigate for disturbance to stream, woodland and SPA/SAC - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Any mitigation measures identified in the contaminated land and noise impact assessments to be implemented 	

15 Halifax Housing Allocations

Site number LP0990

Land off Denfield Lane, Wheatley

Site area (Ha)	1.06	
Indicative developable site area	0.85	
Indicative density (dph)	36	
Indicative capacity	31	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential surface water flooding - Access - Historical Rights of Way 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Flood Risk Assessment - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure, such as SuDS - Drawing showing access with sufficient visibility and gradient - Mitigation may be required at Shroggs Road / A629 junction and Straight Lane / A629 junction - Ensure strip 10m wide along southern boundary not included in developable boundary, restore to acid grassland and manage appropriately - Consideration to visual impact of development - Retention of stone boundary walls and of trees - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Ensure provision is made to enhance other recreational space in the area - Retain and enhance historical rights of way within the site including the need for pedestrian access onto Denfield Lane 	

15 Halifax Housing Allocations

Site number LP1004

Land off Burnley Road, Warley

Site area (Ha)	0.79	
Indicative developable site area	0.73	
Indicative density (dph)	36	
Indicative capacity	26	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Risk of surface water flooding - Access - improvements to existing access - Topography - earthworks to allow vehicular movement within site - Heritage - Warley Conservation Area and historic buildings on site - Noise - traffic on Burnley Road - Possible contaminated land 	
Reports required	<ul style="list-style-type: none"> - Contaminated Land Assessment - Noise Impact Assessment (road noise) - Hydrological Assessment - Warley Clough water course - Topographic survey and feasible layout drawing of access/junction - Bat Survey - Landscape Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on site such as SuDS/green roofs, provision of storage for storm water run-off - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - The buildings identified in the Heritage Impact Assessment as making an important contributing to the character of the Conservation Area should be retained and reused - Measures to address traffic noise from Burnley Road - Retain native trees where possible, and plant native trees and shrubs on boundaries 	

15 Halifax Housing Allocations

Site number LP1009

Site of demolished School, Clough Lane / Brow Bottom Lane, Mixenden

Site area (Ha)	1.52	
Indicative developable site area	1.52	
Indicative density (dph)	25	
Indicative capacity	38	
Land type	Mixed	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential increase in surface water flooding - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Statement - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

15 Halifax Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- Access Road Design and widening- Development proposals should include the provision of on-site open space facilities and/or the enhancement/provision of open space facilities within the catchment of the development- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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Site number LP1019

Land adjacent to White House Farm, Riley Lane, Holmfield

Site area (Ha)	1.27	
Indicative developable site area	1.09	
Indicative density (dph)	25	
Indicative capacity	27	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access - two separate access points required (site split into two parts by woodland) - Potential to increase surface water run off - Proximity of listed buildings (Grade II* Holdsworth House) - Woodland (UK BAP Priority Habitat) and boundary trees 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Flood Risk Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Provision of green and blue infrastructure - Provision of storage for storm water run-off - Consider the impact on visual amenity currently provided by the site - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - The mature tree belt along the site's eastern boundary shall be retained and reinforced - Consideration to recommendations in the West Yorkshire Low Emission Strategy - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

15 Halifax Housing Allocations

Site number LP1128

Land off Park Lane, Siddal

Site area (Ha)	1.06	
Indicative developable site area	1.06	
Indicative density (dph)	36	
Indicative capacity	38	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Topography - Possible land contamination 	
Reports required	<ul style="list-style-type: none"> - Topographic Survey/Transport Assessment/Travel Plan, Access junction design - Flood Risk Assessment - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Surface water management and SuDS application - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Possible contribution to mitigation at Jubilee Rd / A629 junction - Widening of carriageway and footway required to provide a continuation of the same carriageway width with the existing footway extending into the site 	

Site number LP1137

Horley Green Works, Horley Green Road, Claremount

Site area (Ha)	0.78	
Indicative developable site area	0.78	
Indicative density (dph)	35	
Indicative capacity	27	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible contamination - Overhead Power Lines - Special Landscape Area - Site of PRN4873 - recommend archaeological condition if granted permission 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Contaminated Land Assessment - Landscape Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Proposed Junction design - Archaeological condition to be attached to any planning permission regarding PRN4873 - Consideration to overhead lines in design and layout - avoid dwellings beneath power lines - Consideration to Special Landscape Area in layout and design - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

15 Halifax Housing Allocations

Site number LP1180

Old Lane Dyeworks, Old Lane, Halifax

Site area (Ha)	2.60	
Indicative developable site area	0.38	
Indicative density (dph)	166	
Indicative capacity	63	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Flooding - Ovenden Brook and surface water - Lowland Mixed Deciduous Woodland - Wildlife Habitat Network - Heritage - Old Lane Mill and Former Boiler House and Attached Chimney to North of Old Lane Mill (Grade II* Listed Buildings), Akroydon Conservation Area, possible archaeological remains - Contaminated land - Noise - waste transfer station and road 	

15 Halifax Housing Allocations

<p>Reports required</p>	<ul style="list-style-type: none"> - Transport Assessment & Travel Plan for site and mitigation proposals. - Flood Risk Assessment to include: <ul style="list-style-type: none"> - Flood risk hydraulic modelling of Ovenden Brook - Emergency Access and egress plans (to be provided to the LPA for consideration and agreement with the Council's emergency planners) - Specific consideration being given to impacts from historic flooding, such as recent flood events in Calderdale - Specification for sites contained in flood zones 2 and 3 that any more or highly vulnerable uses may not be permitted on the ground floor - Following a sequential approach to the layout of the site – i.e. locating development in areas of least flood risk - Consideration of Surface Water Flood Risk - Archaeological recording in advance of development - Contaminated Land Assessment - Predetermination Archaeological Evaluation - Noise Impact Assessment
<p>Site Specific Considerations</p>	<ul style="list-style-type: none"> - Remove woodland from developable area - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - The undeveloped areas surrounding the listed buildings identified in the Heritage Impact Assessment as being of High Sensitivity shall remain free of development - Development proposals shall secure the repair and sensitive restoration of the Listed Building - Measures to address noise from waste transfer station and road - Site requires masterplanning in accordance with Policy IM7

15 Halifax Housing Allocations

Site number LP1194

Barn Cottage, 5 Lower Exley, Siddal

Site area (Ha)	1.18	
Indicative developable site area	1.10	
Indicative density (dph)	32	
Indicative capacity	35	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Site access - third party ownership of land off Cricketer's Fold - Land drainage - Potential to increase surface water run off - Impact on A629 / Jubilee Rd / Exley Bank junction - Proximity of all weather pitches - Impact on wildlife 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Flood Risk Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Surface water management via a SuDs approach - Capacity building of existing drainage network and well-planned site investigations - Access design including land ownership - Layout and design to exclude dwellings on south-eastern part of site with actual developable boundary to be agreed with Environmental Health Section. 	

Site number LP1196

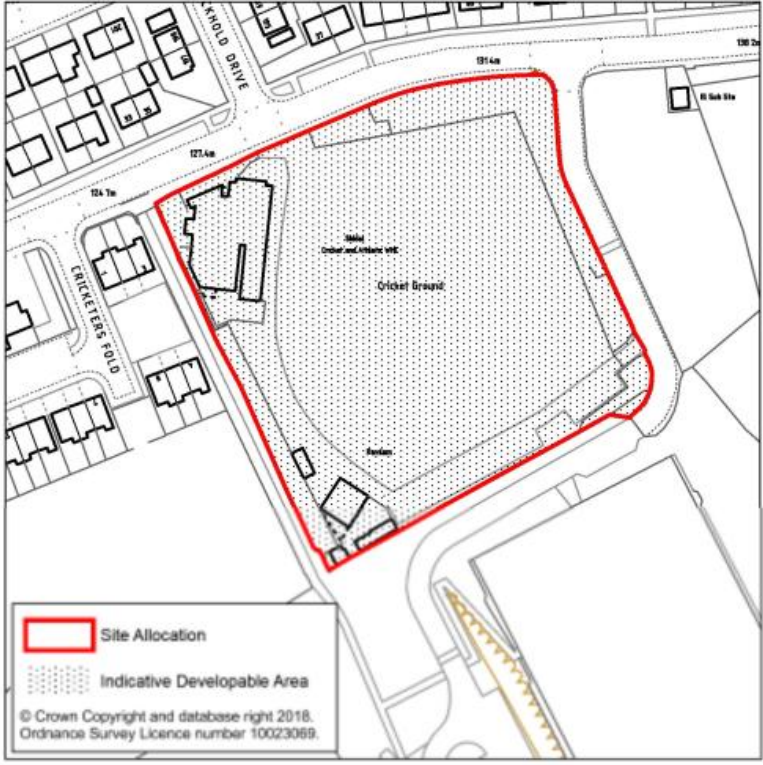
Land off Park Lane, Siddal

Site area (Ha)	0.79	
Indicative developable site area	0.57	
Indicative density (dph)	36	
Indicative capacity	21	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water management - Access - new or shared - Impact on A629 / Jubilee Rd / Exley Bank junction - Proximity of all weather pitches to southern part of site - Land contamination 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - SuDS approach to surface water management - Access design and evidence of agreements to share access with school site - Plant boundaries with species rich hedgerows - Visual impact of development to be taken into account - Layout and design to exclude dwellings on southern part of site with actual developable boundary to be agreed with Environmental Health Section. - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

15 Halifax Housing Allocations

Site number LP1197

Park Lane, Siddal

Site area (Ha)	1.08	
Indicative developable site area	1.08	
Indicative density (dph)	36	
Indicative capacity	39	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Impact on A629 / Jubilee Rd / Exley Bank junction - Lighting from multiuse games area and noise from school - Loss of cricket pitch - Land drainage 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Statement - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Access design and evidence of agreement to share access with school site - Local road network assessments may be required for the A629/Jubilee Road/Exley Bank junction - Design and acoustic properties of dwellings to combat lighting and noise from adjacent uses - Details for compensatory improvements to other cricket pitches in the area 	

15 Halifax Housing Allocations

Site number LP1215

Land adjacent to Boothtown Road, Boothtown, Halifax

Site area (Ha)	0.27	
Indicative developable site area	0.27	
Indicative density (dph)	40	
Indicative capacity	11	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Road traffic noise - Proximity to commercial uses 	
Reports required	<ul style="list-style-type: none"> - Noise Impact Assessment - Transport Statement - Appropriate Study/Mitigation with regards to proximity to Ringby Lane former landfill site 	
Site Specific Considerations	<ul style="list-style-type: none"> - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Provision of SuDS and surface water management measures - Mitigation with regards to proximity to Ringby Quarry 	

15 Halifax Housing Allocations

Site number LP1216

Land off Mill Lane and Old Lane, Boothtown, Halifax

Site area (Ha)	4.71	
Indicative developable site area	3.20	
Indicative density (dph)	29	
Indicative capacity	94	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for Fluvial (Ovenden Brook) and Pluvial Flooding - Public rights of way (Halifax 435, 436 and 736) - Semi improved species rich grassland - Wildlife Habitat Network - Overhead Power Line - Multiple Ownerships - Substandard alignment on Broad Tree Road towards junction with A629 - Archaeological site PRN4718 Site of 14th Century Boothtown Hall, site also contains PRN5443 - Impact of industrial, commercial and road traffic noise to the west - Contaminated Land 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - More investigations into route to/from site. Full Transport Assessment and Travel Plan and access junction proposals to distribute the peak hour trips sufficiently such that the impact on the CAT 2 A629 would be acceptable - Bat Survey - Preliminary Ecological Appraisal and protected species surveys required alongside a sensitive landscape plan (including SuDS) to ensure there is no fragmentation of CWHN and a net gain in biodiversity - Desk based assessment and archaeological field evaluation should be undertaken prior to development in line with NPPF - Noise Impact Assessment - Contaminated Land Assessment 	

15 Halifax Housing Allocations

Site Specific Considerations

- Green and blue infrastructure on site such as SuDS and green roofs to reduce the infiltration rate of precipitation as well as provide storage for storm water run-off
- Realignment of retaining wall of the adjacent area of the development to mitigate drainage
- Access improvements required to Grantham Road
- Permeable pedestrian and cycle access required between site LP1216 and LP1229
- Remove Semi improved species rich grassland from developable area
- Provide for long term ecological management of species rich grassland
- Plant species rich hedgerows on boundaries using locally native species
- PRN5443 - may recommend archaeological condition if development permitted
- Layout to consider overhead power lines
- Site requires masterplanning in accordance with Policy IM7

15 Halifax Housing Allocations

Site number LP1229

Near Royd, Ovenden

Site area (Ha)	16.62	
Indicative developable site area	15.74	
Indicative density (dph)	36	
Indicative capacity	562	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Ecology - proximity to Ovenden Brook, and lowland mixed deciduous woodland - UK BAP Priority Habitats - Site access - full signalised junction likely to be required on A629 - Unstable land - Overhead Powerlines - Potential to increase surface water run off - Flooding - adjacent to Ovenden Brook - Various archaeological assets nearby - Rights of Way (Halifax 429 & 433) - Third party land, if required, to achieve access over Ovenden Brook. 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, including Hydrological Assessment - Investigations into existing drainage network - Layout including detail of how traffic could be accommodated adequately on the local road network and the A629 in particular - Full Transport Assessment and Travel Plan - Access Junction and Topographical survey - Road Safety Assessment - Ecological Impact Assessment (informed by a bat survey) - Recommend archaeological desk-based assessment - Third-party land control - Land stability Report 	

15 Halifax Housing Allocations

Site Specific Considerations

- Provision of green and blue infrastructure, including SuDS
- Stand off from Ovenden Brook to be planted with locally native species, and to be excluded from residential gardens/public space
- Explore opportunities to deculvert Ovenden Brook where possible
- Assess the impact of retaining the culvert on the effectiveness of the Wildlife Habitat Network and seek opportunities to improve habitats
- Remove lowland mixed deciduous woodland from indicative developable area
- Minimise light pollution and other disturbance to the beck
- Consider the impact on visual amenity currently provided by the site
- Consider location of overhead power lines in the design and layout of any scheme
- Third party land, if required, to achieve access over Ovenden Brook
- No increase in development footprint for the area within FZ3ai
- Permeable pedestrian and cycle access required between site LP1216 and LP1229
- Site requires masterplanning in accordance with Policy IM7

15 Halifax Housing Allocations

Site number LP1292

Cow Green Car Park, Halifax

Site area (Ha)	0.34	
Indicative developable site area	0.34	
Indicative density (dph)	265	
Indicative capacity	90	
Land type	Brownfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Adjacent to Halifax Town Centre Conservation Area - Proximity to Listed Buildings - Potential land contamination 	
Reports required	<ul style="list-style-type: none"> - Site investigation and assessment of existing surface water drainage network - Transport Statement - Land Contamination Report - Noise Impact Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Retain areas of open space - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their setting - Mitigation for potential impact of traffic noise - Site requires masterplanning in accordance with Policy IM7 	

Site number LP1368

Furness Drive/Turner Avenue South, Illingworth

Site area (Ha)	0.26	
Indicative developable site area	0.26	
Indicative density (dph)	23	
Indicative capacity	6	
Land type	Brownfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Possible land contamination - Public open space 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment & Travel Plan (subject to scoping agreement with Highways DM) - Contaminated land assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Development proposals should retain the hedgerows and standard trees located to the north of Furness Gardens - Development proposals for LP0261, LP1368 and LP0523 should include the provision of a local park with children's play facilities on LP0261 or LO0523 to mitigate loss of open space. - Development proposals should include suitable mitigation for the loss of land that was last used as a Multi-Use Game Area (MUGA). Compensatory Open Space provision should include qualitative improvements to other 3G pitches/MUGAs in the local area and should be calculated in conjunction with sites LP0261 & LP0523. 	

15 Halifax Housing Allocations

Site number LP1379

Heathmoor Park Road/Field Head Lane, Ilkley

Site area (Ha)	1.14	
Indicative developable site area	1.14	
Indicative density (dph)	38	
Indicative capacity	43	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Land drainage issues - Possible land contamination - Site may support lowland meadow or lowland acid grassland UK BAP habitats - Wildlife Habitat Network - Right of Way (Halifax 214) - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include a Hydrological Assessment - Transport Statement - Contaminated Land Assessment - Botanical Survey - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

15 Halifax Housing Allocations

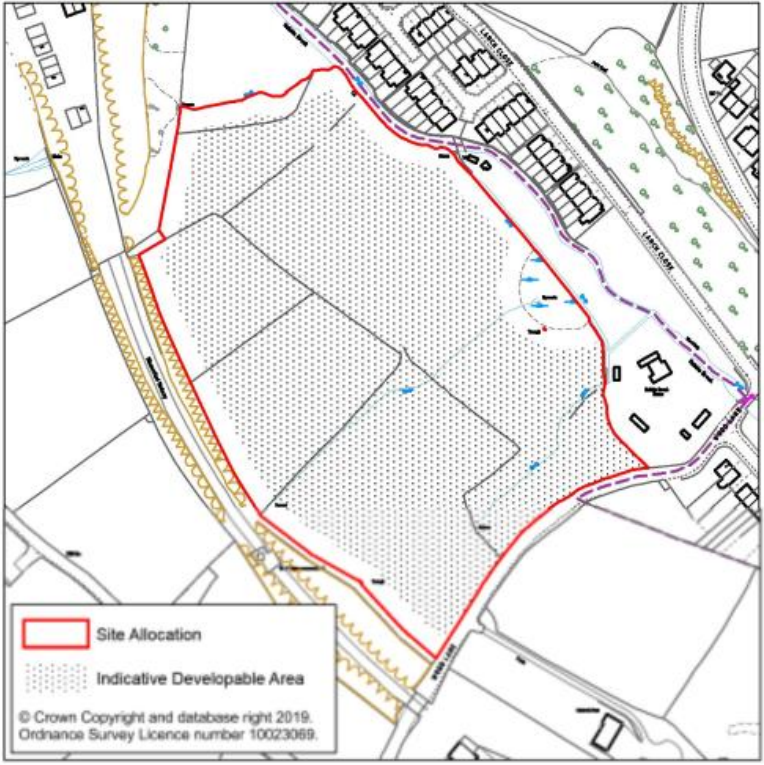
Site Specific Considerations

- Provision of blue and green infrastructure, including SuDS
- Consider the impact on visual amenity currently provided by the site
- Development proposals should include suitable mitigation to compensate for the loss of existing on-site open space.
- Consider impact on UK BAP Priority Habitats and planting of locally native hedgerow to minimise damage to adjacent heathland and create area of locally native wildflower meadow nearby
- Retain an area of less improved grassland from developable area
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

15 Halifax Housing Allocations

Site number LP1409

Wood Lane, off Ovenden Wood Road, Wheatley, Halifax

Site area (Ha)	4.31	
Indicative developable site area	3.62	
Indicative density (dph)	30	
Indicative capacity	109	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Access from Wood Lane, without improvement, is not appropriate - Surface water flooding risk / potential for increased surface water run-off - Adjacent to Hebble Brook and Dodgson Clough and deciduous woodland - UK Biodiversity Action Plan priority habitats - Wildlife Habitat Network 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, including Hydrological Assessment and consideration of layout and design - Transport Assessment/Travel Plan and access proposals - Habitats Regulations Assessment should be undertaken. This should be informed by ornithological surveys (to include nocturnal golden plover surveys). 	
Site Specific Considerations	<ul style="list-style-type: none"> - Consider design and layout with regards to flood risk - Realignment of retaining wall of the adjacent area - Provision of SuDS and green and blue infrastructure, taking account of existing biodiversity - Provision of buffer from the beck and associated wetland, and Wildlife Habitat Network; the latter to be planted with native grass seed - Consider the impact on visual amenity currently provided by the site - Open space would be required as part of any development since there are deficiencies in other typologies - Improvements required to the Ovenden Wood Road and Wood Lane junction - Provision of a safe pedestrian crossing across Hebble Brook 	

Site number LP1425

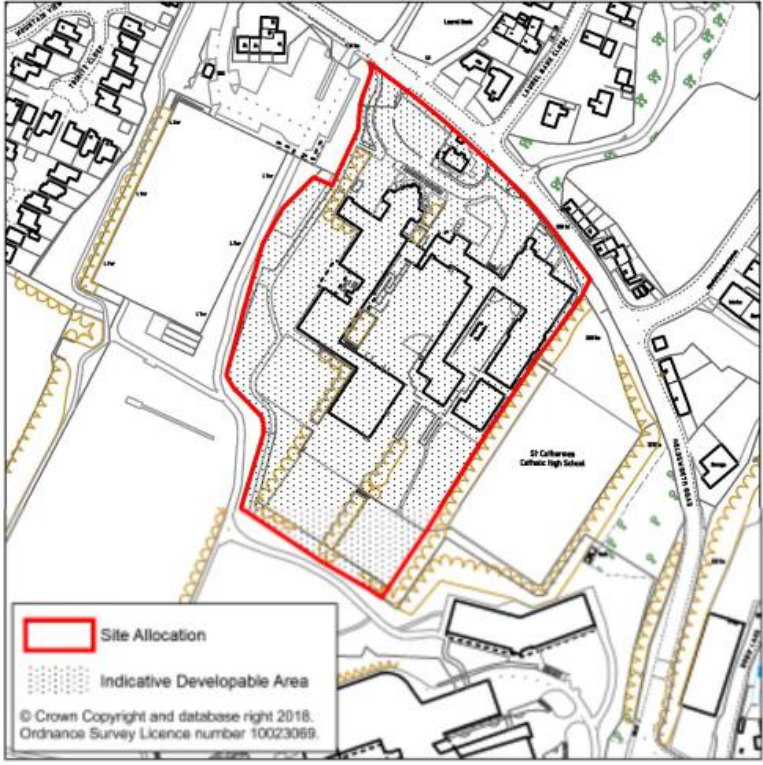
Land south of Phoebe Lane, Siddal

Site area (Ha)	3.29	
Indicative developable site area	2.28	
Indicative density (dph)	46	
Indicative capacity	105	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Right of Way (Halifax 703) - Surface water flood risk - Close to Ramsdon Wood Reservoir Drain - Lowland mixed deciduous woodland, and site lies within Wildlife Habitat Network - Contaminated land - Proximity to Salterhebble AQMA 	
Reports required	<ul style="list-style-type: none"> - Consider layout and design, this should be done in a Flood Risk Assessment - Contaminated Land Assessment - Access design and Transport Statement; feasibility of upgrading West Lane; operational assessments of the Jubilee Road/A629 junction. 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS and other surface water management measures - Remove deciduous woodland from the developable area, and retain and enhance stands of locally native trees. Under-plant with locally native woodland wildflower native mix. - Consider the recommendations of the West Yorkshire Low Emission Strategy - Local highways measures, including traffic calming on surrounding roads and closing Siddal Top Lane to traffic from Phoebe Lane 	

15 Halifax Housing Allocations

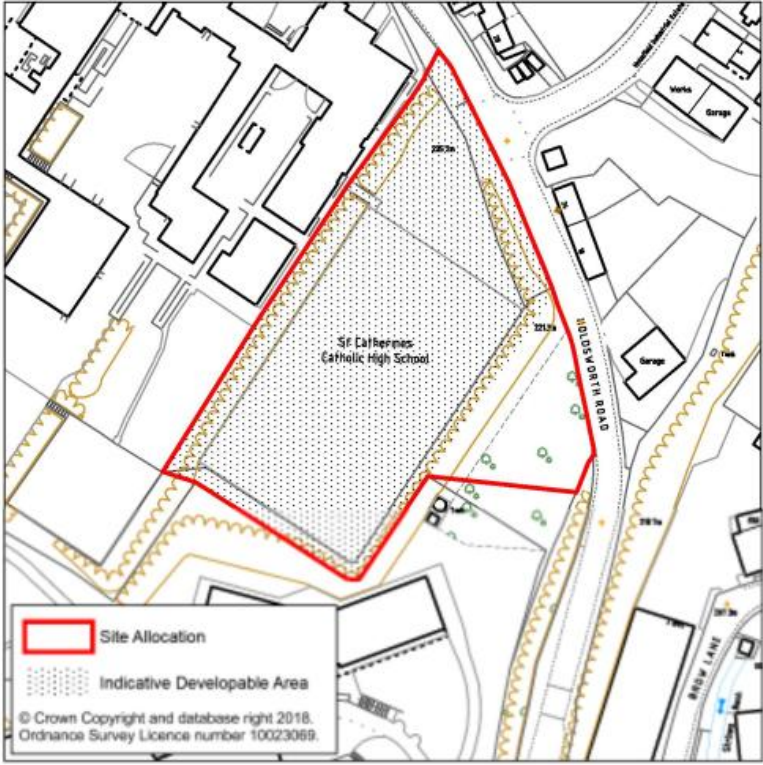
Site number LP1429

Former St Catherine's High School, Holdsworth Road, Holmfield

Site area (Ha)	2.75	
Indicative developable site area	2.75	
Indicative density (dph)	39	
Indicative capacity	108	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Surface water flooding from Stirness Beck - Access - Heritage - 18-24 Holdsworth Road (Listed Buildings) - Ecology - Bats 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, including Hydrological Assessment - Transport Assessment/Travel Plan and Access Proposals - Protected Species Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Development proposals should include compensatory open space provision for the loss of on-site tennis courts in the form of improvements to open space facilities in the immediate locality to include the enhancement of facilities at Beechwood Park or Holmfield Park - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Plant boundaries with native species-rich hedgerows 	

Site number LP1481

Former St Catherine's High School Grounds, Holdsworth Road

Site area (Ha)	1.05	
Indicative developable site area	0.90	
Indicative density (dph)	36	
Indicative capacity	32	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water run off - Surface water flooding from Stirness Beck - Lowland mixed deciduous woodland - UK BAP Priority Habitat - Listed Buildings (18-24 Holdsworth Road) - Land contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, including Hydrological Assessment - Transport Statement & Access Design - Protected Species Survey - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on site such as SuDS and green roofs - Species rich native hedgerows should be planted on all boundaries - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Development proposals should include improvements to open space facilities in the immediate locality to include the enhancement of facilities at Beechwood Park or Holmfield Park - Retain area of lowland mixed deciduous woodland 	

15 Halifax Housing Allocations

Site number LP1486

[Land off Hambleton Drive, Mixenden](#)

Site area (Ha)	0.76	
Indicative developable site area	0.76	
Indicative density (dph)	36	
Indicative capacity	27	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run-off - Potential for flooding from Clough Bank Beck - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment of Clough Bank Beck and surface water assessment - Transport Statement - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

15 Halifax Housing Allocations

Site Specific Considerations

- Defence lines along the right bank of Clough Bank Beck and Flood resilience & resistance including SuDS
- Include consideration of the cumulative effect of adjacent Mixenden sites
- Compensatory Open Space provision should be calculated cumulatively for sites LP1486, LP1488 & LP1489 with enhanced facilities to be provided on new open space designation New-1487
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

15 Halifax Housing Allocations

Site number LP1488

Land off Hambleton Crescent, Mixenden

Site area (Ha)	0.27	
Indicative developable site area	0.27	
Indicative density (dph)	40	
Indicative capacity	11	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run-off - Potential for flooding from Clough Bank Beck - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Hydrological assessment of Clough Bank Beck and surface water assessment - Transport Statement / cumulative effect of adjacent Mixenden sites - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

15 Halifax Housing Allocations

Site Specific Considerations

- Defence lines along the right bank of Clough Bank Beck and Flood resilience & resistance including SuDS
- The cumulative effect of adjacent Mixenden sites should be considered with regards to A629 at Raw Lane junction or Moor End Road
- Compensatory Open Space provision should be calculated cumulatively for sites LP1486, LP1488 & LP1489 with enhanced facilities to be provided on new open space designation New-1487
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

15 Halifax Housing Allocations

Site number LP1489

Land south of Hambleton Crescent, Mixenden

Site area (Ha)	0.34	
Indicative developable site area	0.34	
Indicative density (dph)	41	
Indicative capacity	14	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Surface water flood risk from Clough Bank Beck - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Hydrological assessment of Clough Bank Beck and surface water assessment. - Transport Statement / Cumulative effect of adjacent Mixenden sites - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

15 Halifax Housing Allocations

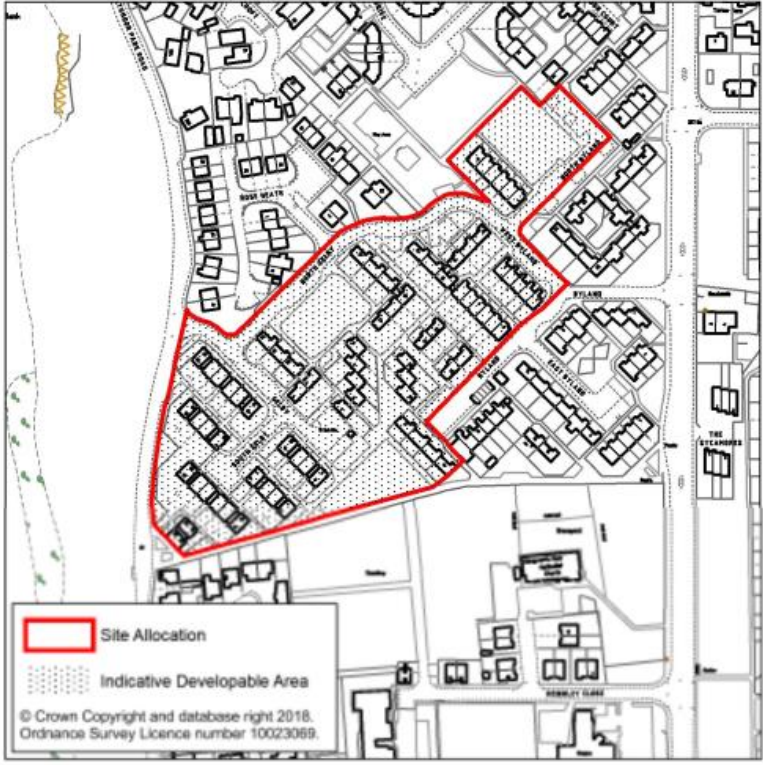
Site Specific Considerations

- Defence lines along the right bank of Clough Bank Beck and Flood resilience & resistance including SuDS
- The cumulative effect of adjacent Mixenden sites should be considered with regards to A629 at Raw Lane junction or Moor End Road
- Compensatory Open Space provision should be calculated cumulatively for sites LP1486, LP1488 & LP1489 with enhanced facilities to be provided on new open space designation New-1487
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

15 Halifax Housing Allocations

Site number LP1547

Land at Abbey Park, Illingworth

Site area (Ha)	2.47	
Indicative developable site area	2.47	
Indicative density (dph)	34	
Indicative capacity	83	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run-off - Amenity green space - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment and Travel Plan including assessments of local junctions - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	
Site Specific Considerations	<ul style="list-style-type: none"> - Capacity building of existing drainage system - Assessment required of Heathmoor Park Rd / A629 Keighley Rd) - Ensure that adverse effects on the integrity of the SPA and SAC are avoided - Where likely significant effects have not been ruled out: <ul style="list-style-type: none"> - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds - Monitoring of impacts to assess bird use over time 	

15 Halifax Housing Allocations

Site number LP1590

Land adjacent to the Wells, Stock Lane, Highroad Well, Halifax

Site area (Ha)	0.61	
Indicative developable site area	0.40	
Indicative density (dph)	40	
Indicative capacity	16	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flood risk - Warley Clough - Topography (access) - Proximity to Listed Buildings (St John the Evangelist Church, Stock Lane House, and The Wells all Grade II Listed) and Warley Conservation Area. - Lowland mixed deciduous woodland - UK BAP Priority Habitat / Wildlife Habitat Network - Potential land contamination 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, Hydrological Assessment of Warley Clough water is an optional mitigation measure - Topographic Survey - Contaminated Land Assessment - Conduct Protected Species Survey - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Provision of SuDS through green and blue infrastructure - Consider the impact on visual amenity currently provided by the site - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Exclude buffer of 10m adjacent to woodland from developable area and plant with locally native shrubs - Implement a programme of woodland management in adjacent woodland 	

15 Halifax Housing Allocations

Site number LP1603

Land to the rear of 115 Claremount Road, Halifax

Site area (Ha)	0.44	
Indicative developable site area	0.44	
Indicative density (dph)	36	
Indicative capacity	16	
Land type	Greenfield	
Ownership	Private	
Constraints	- Contaminated land possible	
Reports required	<ul style="list-style-type: none"> - Protected Species Survey - Contaminated Land Assessment - Access layout 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS and surface water management measures - Site boundaries should be planted with native species-rich hedgerows - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

Site number LP1609

Land at Titan Works, Claremount Road, Boothtown, Halifax

Site area (Ha)	1.01	
Indicative developable site area	1.01	
Indicative density (dph)	46	
Indicative capacity	46	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Rights of way (Halifax 409, 585 & 749) - Current Open Space designation - Potential presence of bats - Proximity to agricultural buildings 	
Reports required	<ul style="list-style-type: none"> - Highway access improvement and proposed waiting restrictions 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue Infrastructure such as SuDS and green roofs - Parking restrictions on Gordon Street and Claremount Road - Boundaries should also be planted with native species-rich hedgerows - Buffer between existing agricultural buildings to the north and residential properties - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt 	

16 Hebden Bridge Housing Allocations

Site number LP1501

Land east of Manor Drive, Hebden Bridge

Site area (Ha)	0.65	
Indicative developable site area	0.65	
Indicative density (dph)	45	
Indicative capacity	29	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Highways (Visibility and gradient) - Loss of childrens play space, recreational area and natural open space - Special Landscape Area - Possible Land Contamination - Site is within 2.5km of the SPA/SAC - Proximity to Manor House, Grade II Listed, and cluster of Grade II* / Grade II listed buildings (Great Burlees and Little Burlees) 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment, to include topographic survey, a feasibility layout drawing is required to assess certainty - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) - Contaminated Land Assessment - Land Stability Report - Landscape Impact Assessment 	

16 Hebden Bridge Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS (taking account of existing biodiversity and taking the form of fen, marsh, wet grassland and standing water in basins)- Landscaping scheme to include plant species which are native, of local provenance and/or provide a benefit to wildlife in the area)- Retention of small area of designated open space on southern end of site or provision of an alternative site within any future development- Retention of the existing trees and the planting of new trees to the south-east corner and along the eastern boundary of the site to screen the site from the nearby listed buildings- Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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16 Hebden Bridge Housing Allocations

Site number LP1503

Land at Stoney Lane, Hebden Bridge

Site area (Ha)	0.43	
Indicative developable site area	0.29	
Indicative density (dph)	69	
Indicative capacity	20	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Possible Land Contamination - Hebden Bridge AQMA - Right of Way - BAP Priority habitat (Deciduous woodland) - Wildlife Habitat Network - Site is within 2.5km of the SPA/SAC - Hebden Bridge Conservation Area - No.74 Bridge Lanes opposite the site (Grade II Listed Building) - Nos. 51-69 Bridge Lanes (includes Nos. 2-20 River Street) opposite the site (Grade II Listed Building) - Nos. 71-95 Bridge Lanes (includes Nos. 1-19 Calder Place) opposite the site (Grade II Listed Building) 	
Reports required	<ul style="list-style-type: none"> - Contaminated Land Assessment. - Noise Impact Assessment - Ornithological Report informed by surveys undertaken according to “SPA Bird Survey Methodology” by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) 	

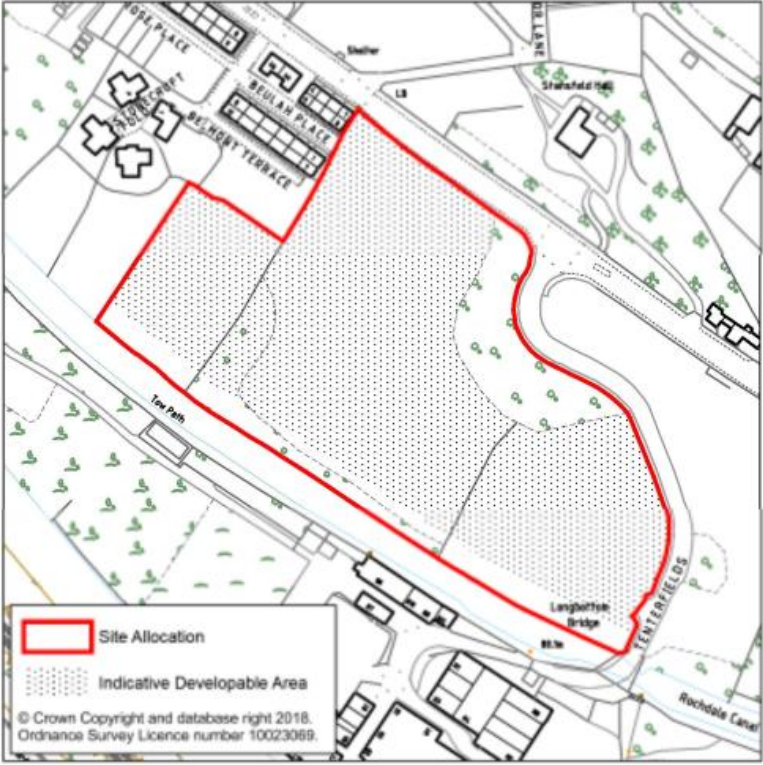
16 Hebden Bridge Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings- The design, layout, height and massing of development must conserve and enhance the appearance of the Hebden Bridge Conservation Area and the settings of heritage assets in the area- Development must respect the historic pattern of development, in particular the characteristic terraced form- Building materials should reflect those characteristic of Hebden Bridge- Retention of woodland together with a 10m buffer, to be excluded from development- Consideration of the West Yorkshire Low Emission Strategy which has been adopted by the Council. This gives guidance on good practice for mitigating air quality impacts- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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17 Mytholmroyd Housing Allocations

Site number LP0011

Tenterfields, Burnley Road, Luddenden Foot

Site area (Ha)	2.62	 <p>The map shows a site allocation outlined in red, situated between Burnley Road and the Rochdale Canal. The site is adjacent to Stansfield Hall and the Langhorne Bridge. A legend indicates the red outline is the 'Site Allocation' and the dotted area is the 'Indicative Developable Area'. The map also shows surrounding streets like Old Place, Burnley Terrace, and Tenterfields, as well as the Rochdale Canal and a tree path.</p> <p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	2.10	
Indicative density (dph)	30	
Indicative capacity	63	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run off - Historic land drainage issues - Adjacent to Rochdale Canal Local Wildlife Site - Habitats and Species of Principal Importance adjacent (Otter and Daubenton's bat use the river. Lowland mixed deciduous woodland UK BAP priority habitat) - Wildlife Habitat Network - Stansfield Hall, opposite this site (Grade II Listed Building) - Site of archeological asset - PRN 552 - Air and noise pollution from Burnley Road - MLV Benchmark not exceeded if all policy requirements applied to site 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment to include Hydrological Assessment - Details of access and road widening - Ecological Assessment - Desk based assessment and archaeological evaluation should be undertaken prior to development in line with NPPF paragraph 128 - Noise Impact Assessment - Air Quality Assessment and Transport Plan 	

17 Mytholmroyd Housing Allocations

Site Specific Considerations

- Provision of green and blue infrastructure including SuDS
- Stand-off of at least 10m is provided from the canal and screening should be provided to avoid increased light levels over the water
- Existing trees to the north east should also be retained, and removed from the indicative developable area
- Species rich native hedgerows should be planted on all boundaries
- Site of PRN 552 - recommend archaeological condition if granted permission
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings
- Regard should be had to the West Yorkshire Emission Strategy
- Provision of stand-off between indicative developable area and industrial uses to the south
- Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt

17 Mytholmroyd Housing Allocations

Site number LP0253

Junction of Grosvenor Place, Burnley Road, Luddenden Foot

Site area (Ha)	0.28	
Indicative developable site area	0.28	
Indicative density (dph)	39	
Indicative capacity	11	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible contaminated land - Former Coach & Horses Public House - non-designated heritage asset - Site is within 2.5km of the SPA/SAC - Calderdale Wildlife Habitat Network - Rochdale Canal Local Wildlife Site - Road traffic noise - Air quality 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Contaminated Land Report - Noise Impact Assessment - Protected Species Survey - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) 	

17 Mytholmroyd Housing Allocations

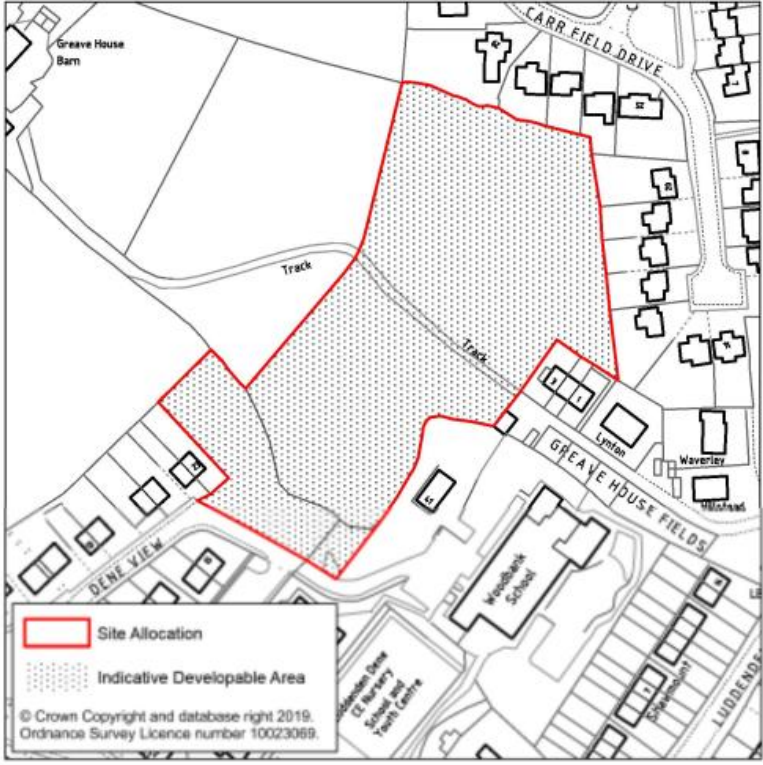
Site Specific Considerations

- Provision of green and blue infrastructure on site such as SuDS and green roofs
- Development of the site should retain the former public house and include and convert the building as part of the development of the site
- Consideration to recommendations in the West Yorkshire Low Emission Strategy
- Tree and native hedgerow planting along Burnley Road
- Bat tubes within the dwellings
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

17 Mytholmroyd Housing Allocations

Site number LP0931

Land at Greave House Fields, Luddenden Foot

Site area (Ha)	1.21	
Indicative developable site area	1.21	
Indicative density (dph)	36	
Indicative capacity	44	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Site is within 2.5km of the SPA/SAC - Right of Way (Sowerby Bridge 027) - Greave House and Barn (Grade II Listed), Luddenden Conservation Area - Site access (third party land LP1372) - Luddenden Foot AQMA 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Statement - Habitat Regulations Assessment to include systematic spatial analysis to determine which sites require recreational disturbance requirements and which loss of functionally linked land for SPA birds requirements - Landscape Impact Assessment - Ecological Record Search with West Yorkshire Ecology 	

17 Mytholmroyd Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none"> - Provision of green and blue infrastructure on site such as SuDS and green roofs to reduce the infiltration rate of precipitation as well as provide storage for storm water run-off - Retain and enhance hedgerows - Plant boundaries with locally native hedgerows - Off site mitigation should be provided to counter increased pressure from people and dogs on the European sites - Development proposals should include on-site replacement of the small area of amenity green space currently located in the south-west part of the site. Alternatively, other open space in the area should be enhanced, for example Holmes Park, Kershaw Estate, Midgley Recreation Ground or Luddenden Recreation Ground. - Retain an area of semi-improved grassland - The visual impact of any development should be considered, and the bridleway safeguarded - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Consider the recommendations of the West Yorkshire Emission Strategy - Ensure that adverse effects on the integrity of the SPA and SAC are avoided - Where likely significant effects have not been ruled out: <ul style="list-style-type: none"> - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds - Monitoring of impacts to assess bird use over time - Development of LP1372 to be designed to ensure access to LP0931 can be achieved
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17 Mytholmroyd Housing Allocations

Site number LP1372

Kershaw Drive, Luddenden Foot

Site area (Ha)	3.23	
Indicative developable site area	1.57	
Indicative density (dph)	20	
Indicative capacity	31	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water run-off - Grade II Listed buildings - Greave House and the adjacent barn - Site is within 2.5km of the SPA/SAC - Environmental Health - adjacent working farms - Special Landscape Area 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment and Travel Plan - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) to include systematic spatial analysis to determine which sites require recreational disturbance requirements and which loss of functionally linked land for SPA birds' requirements - Landscape Impact Assessment 	

17 Mytholmroyd Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of green and blue infrastructure on site such as SuDS and green roofs- Traffic calming on approach roads- Provision of storage for storm water run-off is recommended- Potential stand off required between the site and the working farm- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings- Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt.- Off site mitigation should be provided to counter increased pressure from people and dogs on the European sites- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time- Development proposals should include the provision of on-site open space facilities and/or the enhancement/provision of open space facilities within the catchment of the development- Development of LP1372 to be designed to ensure access to LP0931 can be achieved
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18 Northowram and Shelf Housing Allocations

Site number LP0221

Land at Spring Head, Northowram

Site area (Ha)	1.83	
Indicative developable site area	1.27	
Indicative density (dph)	36	
Indicative capacity	46	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Proximity of quarry - UK BAP Priority habitat on site - Deciduous woodland and Lowland Meadow - Wildlife Habitat Network (adjacent) - Loss of flood storage land - Grade II Registered Historic Park and Garden at Shibden Hall - Potential to increase surface water run off - Right of Way (Halifax 378) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment and Travel Plan - Protected Species Survey - Ecological Impact Assessment - Landscape Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Stand off between quarry and site boundary necessary - Reduce developable land by providing a buffer of 10m around the site and around the woodland within the site. Retain the vegetation within these buffers and supplementary plant with locally native shrubs. - Retention of boundary trees - Restore an area of lowland meadow to be used as open space by supplementary planting with appropriate species and management - Implementation of mitigation specified in Ecological Impact Assessment - Consider the impact on visual amenity currently provided by the site - Strong and defensible boundary between the New Housing Site and the Green Belt will be required 	

18 Northowram and Shelf Housing Allocations

Site number LP0589

Land Adjacent to & Rear of 8 Back Clough, Northowram

Site area (Ha)	0.38	
Indicative developable site area	0.38	
Indicative density (dph)	26	
Indicative capacity	10	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Northowram Conservation Area - Stump Cross Air Quality Management Area - Road traffic noise (A6036) 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment - Noise Impact Assessment (road noise) 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS through green and blue infrastructure - Plant boundaries with locally native species-rich hedgerows - Good acoustic design required for layout and house types - Refer to guidance in West Yorkshire Low Emission Strategy (Stump Cross AQMA) - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Amend existing junction to provide site access and contribute towards Hipperholme scheme 	

18 Northowram and Shelf Housing Allocations

Site number LP0759

Land off Belle Vue Rise, Shelf

Site area (Ha)	0.55	
Indicative developable site area	0.44	
Indicative density (dph)	23	
Indicative capacity	10	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Surface water flooding - Wildlife Habitat Network - Contaminated land 	
Reports required	<ul style="list-style-type: none"> - Capacity building of existing drainage network - Transport Statement - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Remove 50% of grassland from developable area to include a 10m wide buffer running the length of the site. The grassland should be enhanced through appropriate management and supplementary planting using suitable locally native species. - The housing layout should take account of hedgehog movements and provide passage through fences. 	

18 Northowram and Shelf Housing Allocations

Site number LP0766

Land off Hall Lane, Northowram

Site area (Ha)	5.81	<p>© Crown Copyright and database right 2022. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	3.83	
Indicative density (dph)	39	
Indicative capacity	149	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Tree Preservation Order - Acid Grassland/Upland Heathland - Risk of surface water flooding - North Field Gate Farm (buffer if operational) - Marsh Hall (Grade II Listed Building) - Northowram Hall / Slab Wall (north of footpath between Upper Lane and Hall Lane) - Right of Way (Halifax 347) on southern boundary 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include a Hydrological Assessment - Transport Statement - Coal Mining Risk Assessment - Protected Species Survey 	

18 Northowram and Shelf Housing Allocations

Site Specific Considerations

- Provision of green and blue Infrastructure on site such as SuDS and green roofs to reduce the infiltration rate of precipitation as well as provide storage for storm water run-off
- Retain/enhance area of acid grassland/upland heathland, retain boundary trees and manage as woodland with understorey planting
- Reinstate tree boundary to the north of the site.
- Reduce developable area to exclude boundary trees (and an additional 10m buffer) and area of acid grassland/upland heathland (to become open space)
- Provision of Open Space
- North Field Gate Farm buffer if operational
- The traffic generated by the development is likely to impact on the Stump Cross junction. Contributions may therefore be required towards the required mitigation
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings
- Development in the northern fields should have careful regard to design, layout and landscaping, in order to satisfactorily mitigate any harm to designated heritage assets
- Strong and defensible boundary between the New Housing Site and the Green Belt to be maintained / provided
- Site requires masterplanning in accordance with Policy IM7

18 Northowram and Shelf Housing Allocations

Site number LP0782

Land off Cock Hill Lane, Shelf

Site area (Ha)	5.85	
Indicative developable site area	4.67	
Indicative density (dph)	30	
Indicative capacity	141	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Safeguard Right of Way (Shelf 152) - Cock Hill (Nos. 3-7) Grade II listed building - Semi-improved grassland - Wildlife Habitat Network - Local Wildlife Site - Archaeological Sites (11672-5 Inclusive) - Contaminated Land 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include Hydrological Assessment (Wood Fall Beck) - Surface Water Assessment - Transport Assessment - Travel Plan - Ornithological Survey - Predetermination Archaeological Evaluation - Contaminated Land Assessment 	

18 Northowram and Shelf Housing Allocations

Site Specific Considerations

- Provision of SuDS. The SuDS scheme should take account of existing biodiversity and take the form of fen, marsh, wet grassland or standing water in basins.
- Biodiversity mitigation/enhancement should provide locally native species rich unimproved grassland, restoring gaps in the Wildlife Habitat Network
- Increased recreation impact on nearby Local Wildlife site will need mitigation
- Provision of Open Space
- Provision of pedestrian routes and upgrading of off-site PROW routes
- Strong and defensible boundary between the New Housing Site and the Green Belt will be required
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings.
- The access road should skirt the urban edge and be effectively screened by a stone wall to reflect existing field boundaries
- Provision of a buffer on western boundary to mitigate impacts on the listed building
- Site requires joint masterplanning with site LP1543 in accordance with Policy IM7.

18 Northowram and Shelf Housing Allocations

Site number LP1034

Land off Soaper Lane, Shelf

Site area (Ha)	2.92	
Indicative developable site area	2.92	
Indicative density (dph)	34	
Indicative capacity	100	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flooding risk - Right of Way (Shelf 161) - Unstable land (history of mining) - Contaminated land - Existing equestrian land use 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Assessment - Transport Statement and Travel Plan - Land Stability Report - Bat Survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Mitigation of any land stability constraints - Retain and enhance hedgerows with additional planting of native shrubs - Plant boundaries with native hedgerows - Provision of SuDS - Provision of a footway on site side of Soaper Lane - Highway mitigation at the Shelf Moor Road and Burned Road junctions with the A6036 would be needed to accommodate the additional trips; this may require traffic signals - Development of LP1034 to be designed to allow access to LP1036 if required - Retention and repair of the stone boundary walls - Strong and defensible boundary between the New Housing Site and the Green Belt will be required. 	

18 Northowram and Shelf Housing Allocations

Site number LP1036

Land north of Shelf Cricket Ground, Carr House Lane, Shelf

Site area (Ha)	0.89	
Indicative developable site area	0.89	
Indicative density (dph)	30	
Indicative capacity	27	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Contaminated land - Surface water flooding - Right of Way (Shelf 161) - Unstable Land (history of mining) 	
Reports required	<ul style="list-style-type: none"> - Bat Survey - Hydrological Assessment - Transport Assessment - Travel Plan - Land Contamination Report - Coal Mining Risk Assessment - Land Stability Report <p>Applications for development must undertake a ball strike risk assessment and as a minimum consider recreational cricket and ball speeds of up to 40 metres per second. At this site the wicket is orientated in a north-south direction, although a possible east/west variation of 55° from the point of north is also acceptable in accordance with ECB guidance, therefore any ball strike risk assessment should also consider orientation at 55° as well. Any mitigation package that the ball strike risk assessment advises should be built into the scheme by the developer; and be constructed and maintained in perpetuity at the developer's expense.</p>	
Site Specific Considerations	<ul style="list-style-type: none"> - Mitigation of any land stability constraints - Provision of SuDS - Retain and enhance hedgerows with additional planting of native shrubs - Plant boundaries with native hedgerows - Development of LP1034 to be designed to allow access to LP1036 if required 	

18 Northowram and Shelf Housing Allocations

Site number LP1037

Land off Burned Road, Shelf

Site area (Ha)	0.98	
Indicative developable site area	0.98	
Indicative density (dph)	32	
Indicative capacity	31	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Contaminated Land - Surface water flooding - Farming activities - Archaeological Interest (Shelf Windmill - farm PRN4304) - Bats - Unstable Land (history of mining) 	
Reports required	<ul style="list-style-type: none"> - Transport Statement and access design - Bat Survey - Hydrological Assessment - Contaminated Land Assessment - Predetermination Archaeological Evaluation - Land Stability Report 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Plant boundaries with locally native species-rich hedgerows - Archaeological conditions - Retention of the stone boundary walls should be sought wherever possible - Widening of Burned Road and the provision of footways to be explored - Mitigation of any land stability constraints 	

18 Northowram and Shelf Housing Allocations

Site number LP1041

Land at West Street & Halifax Road, Shelf

Site area (Ha)	1.61	<p style="text-align: center;">Picture 18.1</p>
Indicative developable site area	0.91	
Indicative density (dph)	35	
Indicative capacity	32	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Wildlife Habitat Network - Lowland mixed deciduous woodland UK BAP priority habitat - Local Wildlife Network - Hedgerow (northern boundary) - Sun Wood/North Wood LWS lies over the road to the east - Amenity green space - Land contamination - Road noise - Halifax Road - Western edge stone boundary wall incorporates a stone drinking trough and other stone features (non-designated heritage assets) 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment - Travel Plan - Contaminated Land Assessment - Noise Impact Assessment 	

18 Northowram and Shelf Housing Allocations

Site Specific Considerations

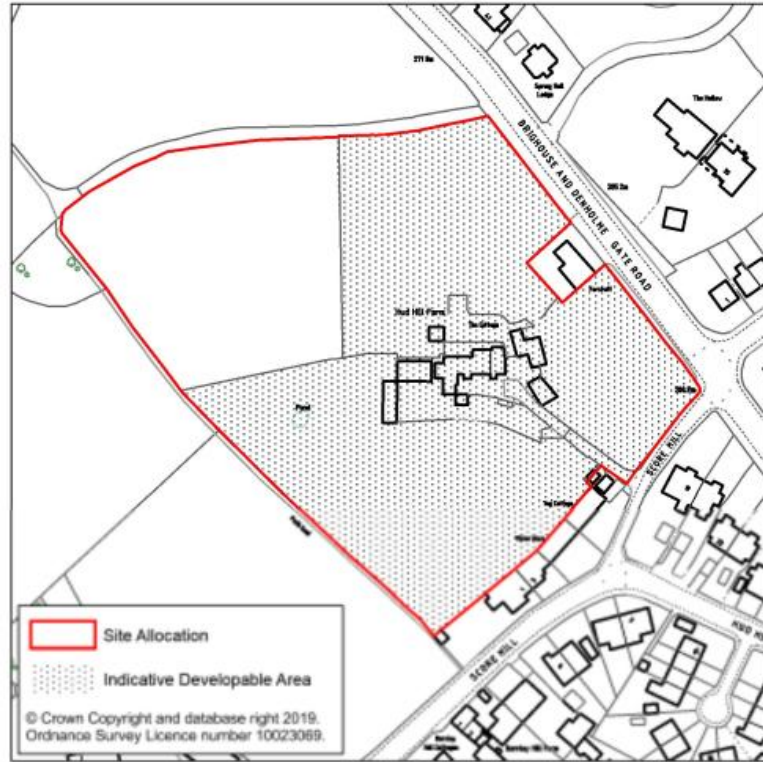
- Retain and enhance hedgerow with additional planting of native shrubs
- Retain and enhance Lowland Mixed Deciduous Woodland (UK BAP priority habitat)
- Remove woodland from the developable area
- Retain and enhance Wildlife Habitat Network (use seed/plant material of local provenance from Sun Wood for this enhancement work) and ensure that links with the WHN to the north-west are maintained
- Good acoustic design for dwellings near the adjacent employment land and Halifax Road
- Provision of SuDS
- Development proposals should include the retention and enhancement of open space within the site and/or the improvement of other open space in the area such as at Shelf Hall Park
- The retention of the stone boundary wall to the western boundary of the site, together with the stone drinking trough, milestone and other stone features, should be sought wherever possible. If their removal is necessary, the stone drinking trough, milestone and other stone features should be retained and relocated elsewhere along the boundary wall. The retention of the stone boundary wall to Halifax Road should also be sought wherever possible.
- Design of the site to consider and acknowledge the location and role of the site in providing a gateway into Shelf

18 Northowram and Shelf Housing Allocations

Site number LP1044

Hud Hill Farm, Northowram

Site area (Ha)	2.11
Indicative developable site area	1.51
Indicative density (dph)	30
Indicative capacity	45
Land type	Mixed
Ownership	Private



Constraints	<ul style="list-style-type: none"> - Surface Water Flooding - Lowland Meadow (UK BAP priority habitat) - Rights of Way (Halifax 343) - Grade II Listed Building - Whinney Royd Farmhouse (200m north-west of site) - Road traffic noise
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Assessment - Transport Assessment - Travel Plan - Ecological Impact Assessment informed by bat and amphibian surveys - Noise Impact Assessment
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Removal of field to north-west of the site in accordance with heritage advice - Maintenance and enhancement of existing hedgerows - Suitable management of Lowland Meadow (UK BAP priority habitat) - Provision of Open Space - Safeguard of Right of Way (Halifax 343) - The creation of a strong and defensible boundary between the allocation for housing and the Green Belt - Buffer zone should farming operations continue.

18 Northowram and Shelf Housing Allocations

Site number LP1523

Land at Westercroft Lane, Northowram

Site area (Ha)	1.42	
Indicative developable site area	0.89	
Indicative density (dph)	36	
Indicative capacity	32	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Risk of surface water flooding - Contaminated Land - Stump Cross AQMA (No.5) - Westercroft hamlet (non-designated heritage asset to north-east) 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment - Travel Plan - Hydrological Assessment - Ecological Assessment - Contaminated Land Assessment - Amended site layout plan. 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Crossing point and footway between the site and the junction with the A644 - Contribution to a scheme of mitigation for the Hipperholme Crossroads - Plant species rich native hedgerow on western and northern boundaries - Consideration to advice contained within the West Yorkshire Low Emission Strategy - Consideration of requirement to amend submitted layout plan to enable access to northern field - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt. 	

18 Northowram and Shelf Housing Allocations

Site number LP1543

Land north and north-west of Wade House Road, Shelf

Site area (Ha)	11.15	
Indicative developable site area	11.01	
Indicative density (dph)	26	
Indicative capacity	290	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water run off - Historic land drainage issues - Third party land to provide sufficient number of access points - Wildlife Habitat Network (north east boundary) - Topography and water features that affect the layout of the development - Semi-improved Grassland - Archaeological site (PRN11675) - Adjacent agricultural use - Rights of Way (Shelf 152 & 153) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to Hydrological Assessment of Wood Fall Beck and surface water assessment - Transport Assessment - Third party land control - Ornithological Survey - Archaeological desk-based assessment 	

18 Northowram and Shelf Housing Allocations

Site Specific Considerations

- Third party land control. Site access to be achieved between 22 and 23 Wade House Road
- Provision of green and blue Infrastructure on-site such as SuDS and green roofs. The SuDS scheme should take account of existing biodiversity and take the form of fen, marsh, wet woodland, wet grassland or standing water in basins.
- Provision of Open Space
- Provision of locally native species rich unimproved grassland and locally native species rich hedgerows
- Increased recreation impact on nearby Local Wildlife Site will need mitigation
- Exclude 10m buffer of Wildlife Habitat Network from developable area and plant with appropriate locally native species (grassland or woodland)
- Provision of pedestrian routes and upgrading of off-site PROW routes
- Stand off between agricultural uses and residential properties, and physical mitigation where identified
- Strong and defensible boundary between the New Housing Site and the Green Belt will be required
- Site requires joint masterplanning with site LP0782 in accordance with Policy IM7

19 Ripponden Housing Allocations

Site number LP0938

[Holme House, Holme House Lane, Rishworth](#)

Site area (Ha)	0.38	
Indicative developable site area	0.27	
Indicative density (dph)	40	
Indicative capacity	11	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Site is within 2.5km of the SPA/SAC - Site lies within Wildlife Habitat Network - Presence of Principal Habitat of Importance on site (lowland mixed deciduous woodland) - Wildlife Habitat Network - Heritage asset in close proximity - Grade II The Old Building of Rishworth School & Grade II listed milestone on western boundary 	
Reports required	<ul style="list-style-type: none"> - Transport Statement - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitat Regulations Assessment (HRA) - Landscape Impact Assessment 	

19 Ripponden Housing Allocations

Site Specific Considerations

- Provision of blue & green infrastructure, including SuDS
- Pedestrian crossing point
- Right hand turn into the site from the highway
- Plant any development with locally native trees
- Provide 10m standoff from the waterbodies
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings
- Ensure that adverse effects on the integrity of the SPA and SAC are avoided
- Where likely significant effects have not been ruled out:
 - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate
 - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds
 - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds
 - Monitoring of impacts to assess bird use over time

19 Ripponden Housing Allocations

Site number LP1023

Land off Halifax Road, Triangle, Sowerby Bridge

Site area (Ha)	1.40	<p>The map shows a site allocation area outlined in red. Within this area, a portion is designated as an 'Indicative Developable Area' with a dotted pattern. The site is situated near Lumb Clough, with several buildings including Denton Bridge Cottage, Denton Mill, and Denton House. A legend in the bottom left of the map identifies the red outline as 'Site Allocation' and the dotted area as 'Indicative Developable Area'. Copyright information at the bottom of the map reads: '© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.'</p>
Indicative developable site area	1.06	
Indicative density (dph)	16	
Indicative capacity	17	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flood risk (Lumb Clough) - Ecology - Lumb Clough is a UK BAP Priority Habitat, brown long eared and common pipistrelle roosts in the mill - Public right of way through the site (Ripponden 014) - Lumb Clough - UK BAP priority habitat - Brown long eared and common pipistrelle - UK BAP Species of Principal Importance - Wildlife Habitat Network - Denton House & 1-7 Halifax Road - Grade II Listed Buildings - Adjacent to Mill Bank and Cottonstones Conservation Area - Denton Bridge Cottage - undesignated of potential listable quality - Land contamination 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment, including access road improvements - Flood Risk Assessment, to include consideration of layout and design - Hydrological Assessment - Bat Survey - Contaminated Land Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Consider surface water flood risk in design and layout of scheme - Leave a 10m buffer zone adjacent to the water course. Plant with locally native woodland. Minimise light pollution and other disturbance to watercourse. - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings 	

19 Ripponden Housing Allocations

Site number LP1027

Land north of Stonelea, Barkisland

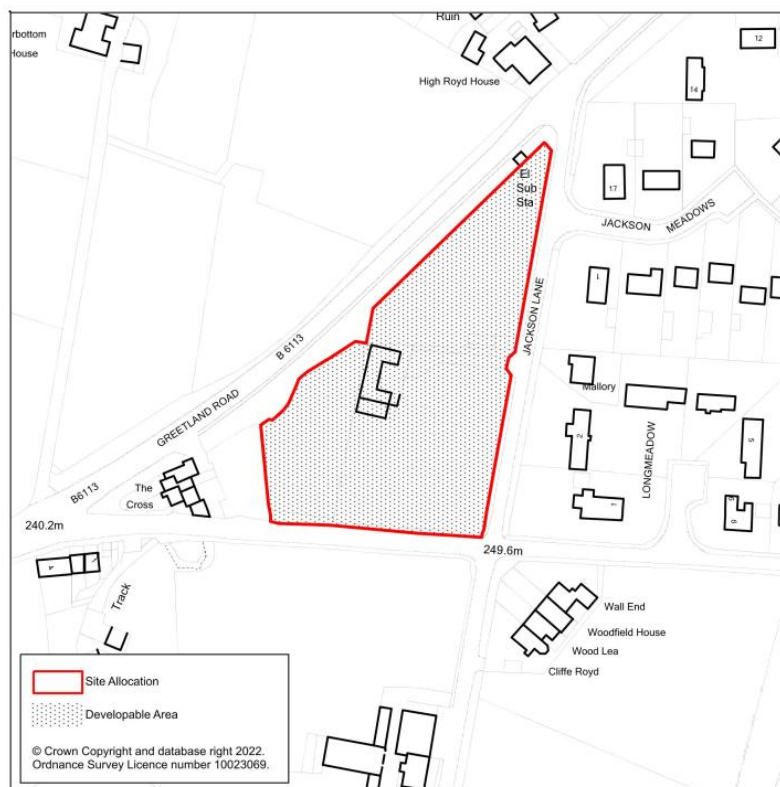
Site area (Ha)	0.55	
Indicative developable site area	0.33	
Indicative density (dph)	36	
Indicative capacity	12	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Overhead power lines - Potential for increased surface water flooding 	
Reports required	<ul style="list-style-type: none"> - Transport Statement and access design - Capacity building of existing drainage network - Landscape Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Sensitive design and layout, responding to constraints on the site, taking account of past planning decisions regarding overhead power lines and residential amenity for neighbouring properties. Indicative capacity of 12 dwellings is likely to be a maximum. - Provision of SuDS 	

19 Ripponden Housing Allocations

Site number LP1602

Barkisland Cross, Jackson Lane, Barkisland

Site area (Ha)	0.76
Indicative developable site area	0.76
Indicative density (dph)	32
Indicative capacity	24
Land type	Greenfield
Ownership	Private

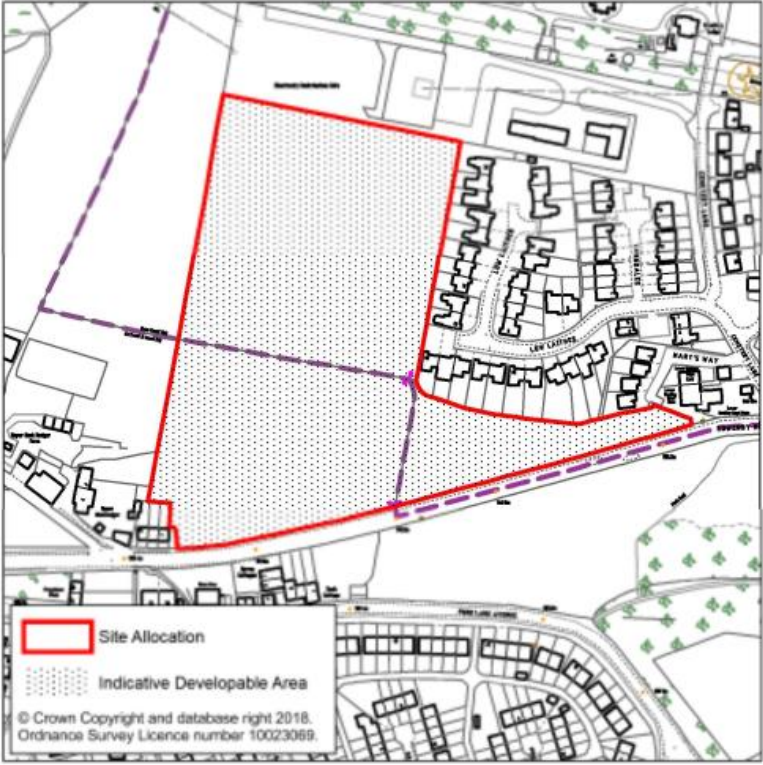


Constraints	<ul style="list-style-type: none"> - Special Landscape Area - Potential habitat for bats
Reports required	<ul style="list-style-type: none"> - Transport Statement, access design and design of mitigation on network - Bat survey - Surface water/drainage network assessment - Landscape Impact Assessment
Site Specific Considerations	<ul style="list-style-type: none"> - Green and blue infrastructure on site such as SuDS and green roofs - Planting species rich locally native hedgerows on the boundaries. - Consider the impact on visual amenity currently provided by the site - Retention of the stone boundary walls should be sought wherever possible - Ensure the creation of a strong and defensible boundary between the allocation for housing and the Green Belt

20 Sowerby Bridge Housing Allocations

Site number LP0044

Cemetery Lane, Lower Bentley Royd, Sowerby Bridge

Site area (Ha)	2.94	 <p>The map shows a residential area with streets including Cemetery Lane, Low Lanes, and Hart's Way. A large area is outlined in red, indicating the site allocation. A dotted pattern within this area indicates the indicative developable area. A legend at the bottom left of the map identifies the red outline as 'Site Allocation' and the dotted pattern as 'Indicative Developable Area'. Copyright information at the bottom of the map reads: '© Crown Copyright and database right 2018. Ordnance Survey Licence number 100023069.'</p>
Indicative developable site area	2.94	
Indicative density (dph)	38	
Indicative capacity	112	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Surface water flood risk - Potential to increase surface water run off 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Transport Assessment & Travel Plan and site access design with appropriate mitigation. Assessment needed of Foundry St/Bridge St/West St junction and centre of Sowerby Bridge 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS and drainage network capacity building assessment including identification of impacts - Plant native species-rich hedgerows on all boundaries - Retain trees within the site and along its boundary, and incorporate into landscaping/provide 10m buffer - Consider the impact on visual amenity currently provided by the site - Have regard to West Yorkshire Low Emission Strategy - Strong and defensible boundary between the site and the Green Belt will be required 	

20 Sowerby Bridge Housing Allocations

Site number LP0287

Land rear of 287 Willowfield Road, Halifax

Site area (Ha)	0.84	
Indicative developable site area	0.84	
Indicative density (dph)	12	
Indicative capacity	10	
Land type	Greenfield	
Ownership	Private	
Constraints	- Potential for increased surface water flooding	
Reports required	<ul style="list-style-type: none"> - Evaluation of existing drainage network and application of SuDS if required. - Historical risk assessment of surface water flooding - Transport Statement 	
Site Specific Considerations	- Provision of SuDS	

20 Sowerby Bridge Housing Allocations

Site number LP0435

Land off Haugh End Lane, Sowerby, Sowerby Bridge

Site area (Ha)	0.30	
Indicative developable site area	0.30	
Indicative density (dph)	47	
Indicative capacity	14	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Haugh End House - Grade II* Listed, Old Haugh End and Old Haugh End Cottage; Haugh End Farmhouse - Grade II Listed, and Brockwell Gate - Grade II Listed - Site access - Road traffic noise - Proximity to Sowerby Bridge Air Quality Management Area - Proximity to waste site EAWML 65545 (Calder Valley Skip Hire Ltd). 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment & Travel Plan - Noise Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS, and green infrastructure to reduce run-off and provide storm water storage. - Plant native species-rich hedgerows on boundaries - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Consider recommendations of the West Yorkshire Low Emission Strategy 	

20 Sowerby Bridge Housing Allocations

Site number LP0438

Land off Dean Lane, Sowerby, Sowerby Bridge

Site area (Ha)	0.63	
Indicative developable site area	0.37	
Indicative density (dph)	35	
Indicative capacity	13	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Potential for increased surface water flooding - Listed Heritage Assets at Field House - Grade II* and Grade II Listed - Air Quality - Proximity to Sowerby Bridge AQMA - UK BAP deciduous woodland - Partly within the Calderdale Wildlife Habitat Network 	
Reports required	<ul style="list-style-type: none"> - Evaluation of exiting drainage network - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Mitigation at St Peter's Ave / Town Gate junction subject to junction assessments - Provision of SuDS and green infrastructure to reduce the infiltration rate of precipitation as well as provide storage for storm water run-off - Provide 10m buffer around trees and plant with native shrubs and remove all Wildlife Habitat Network from developable area - Plant native species-rich hedgerow on SE and SW boundaries - Retention and repair of the dry stone walls - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - The mature tree belts to the east and south of the site shall be retained and enhanced to screen the new development from the nearby listed buildings - Consideration of the West Yorkshire Emission Strategy 	

20 Sowerby Bridge Housing Allocations

Site number LP1356

Hollins Park, Cemetery Lane, Sowerby Bridge

Site area (Ha)	1.20	
Indicative developable site area	0.86	
Indicative density (dph)	37	
Indicative capacity	32	
Land type	Greenfield	
Ownership	Public	
Constraints	<ul style="list-style-type: none"> - Potential to increase surface water runoff - Site access is likely to reduce capacity of the site - Adjacent to Sowerby Bridge Cemetery (Locally designated Historic Park and Garden), and the Cemetery Chapel (Grade II Listed) - Loss of playing pitches 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment - Flood Risk Assessment - Heritage Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Reprovision of equivalent or better quantity or quality pitches would be required - Improvements to other open space in the area should be carried out. These could include facility improvements at the Hollins Mill Leisure Park. - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Should the historic cemetery gate piers and gate be required to be relocated as part of the access arrangements, they will be expected to be retained, appropriately repositioned and repaired, so that they continue to form the main access to the cemetery. Any such work should be undertaken alongside the construction of the site access to LP1356. The applicant shall detail within their Heritage Impact Assessment the justification and mitigation measures proposed to minimise the harm to the heritage asset. These shall be agreed by the Local Planning Authority. 	

20 Sowerby Bridge Housing Allocations

Site number LP1398

Land on the west side of Brockwell Lane, Triangle, Sowerby Bridge

Site area (Ha)	4.10	
Indicative developable site area	2.89	
Indicative density (dph)	30	
Indicative capacity	87	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Right of Way (Sowerby Bridge 098) - Adjacent to Wildlife Habitat Network - Listed buildings - Brockwell House and Brockwell Cottage (Grade II) to the south and east, and Bullace Trees Cottage (Grade II) to the south - Air quality and the impact of additional road traffic taken cumulatively - Proximity to Ryburn Valley High School - Tree Preservation Orders - Loss of natural and semi natural urban green space - Proximity to waste site EAWML 65545 (Calder Valley Skip Hire Ltd) 	
Reports required	<ul style="list-style-type: none"> - Protected Species Survey - Noise Impact Assessment - Feasibility of site access to be provided and subject to acceptability of design, a Transport Assessment & Travel Plan would be required - Third party land control 	

20 Sowerby Bridge Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS and green infrastructure to increase infiltration- Excluding 20m buffer on southern and western edges and retaining a 20m buffer of trees across the centre of the site- Plant areas outside developable area with native shrubs and trees and manage as woodland- The impact of development on the open character of the area and its visual amenity should be assessed- Consider the impact on visual amenity currently provided by the site- High quality open space facilities should be provided on site as part of any development to help rectify current deficiencies- Retain existing trees, including those to east and north- Retain and repair the stone boundary wall to the south- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings- Air quality and the impact of additional road traffic taken cumulatively- Regard should be had to the West Yorkshire Emission Strategy- Proximity to Ryburn High School and impacts should be considered- Third party land agreements need to be confirmed- Site requires masterplanning in accordance with Policy IM7
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20 Sowerby Bridge Housing Allocations

Site number LP1412

Land north of Lower Brockwell Lane, Sowerby Bridge

Site area (Ha)	0.61	
Indicative developable site area	0.28	
Indicative density (dph)	64	
Indicative capacity	18	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Site access would require significant earthworks - Wildlife Habitat Network - Listed Buildings - Brockwell House and Brockwell Cottage (Grade II) to the north, and Bullace Trees Cottage (Grade II) to the south - Air quality and the impact of additional road traffic taken cumulatively - Tree Preservation Orders - Loss of natural and semi natural urban green space - Road noise - Proximity to waste site EAWML 65545 (Calder Valley Skip Hire Ltd) 	
Reports required	<ul style="list-style-type: none"> - Access design with topographical survey and layout of site access road (taking into account topography of site) - Protected Species Survey - Noise Impact Assessment 	

20 Sowerby Bridge Housing Allocations

Site Specific Considerations

- Provision of SuDS
- Provide a 20m buffer on the southern boundary
- Plant areas outside developable area with native shrubs and trees and manage as woodland
- The impact of development on the open character of the area and its visual amenity should be assessed
- Mitigation against loss of open space, for example, enhancing existing areas of natural open space or providing new facilities
- Retain existing trees, including those to east and north
- Retain and repair the stone boundary wall to the south
- Implementation of the recommendations provided in the [Heritage Impact Assessment](#) or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings
- Have regard to the West Yorkshire Low Emission Strategy

20 Sowerby Bridge Housing Allocations

Site number LP1415

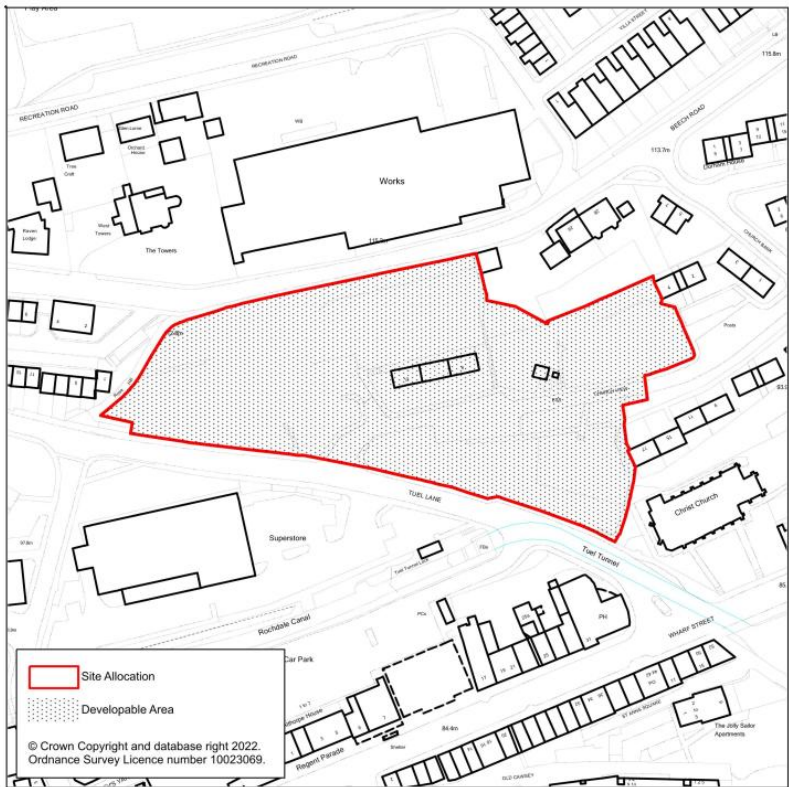
Wakefield Road, Sowerby Bridge

Site area (Ha)	0.24	
Indicative developable site area	0.24	
Indicative density (dph)	50	
Indicative capacity	12	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Site access - changes in levels likely to be mean dual access from Walker Lane and Wakefield Road - Within Sowerby Bridge Air Quality Management Area - Noise (road traffic and industrial) - Proximity to waste site EAWML 65545 (Calder Valley Skip Hire Ltd) 	
Reports required	<ul style="list-style-type: none"> - Historical risk assessment of surface water flooding - Noise Impact Assessment - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Evaluation of existing drainage network and application of SuDS if required - Consider recommendations in the West Yorkshire Emission Strategy and AQMA Action Plan - Repositioning of bus stop, ghost island and pedestrian refuge island if access directly from Wakefield Road 	

20 Sowerby Bridge Housing Allocations

Site number LP1654

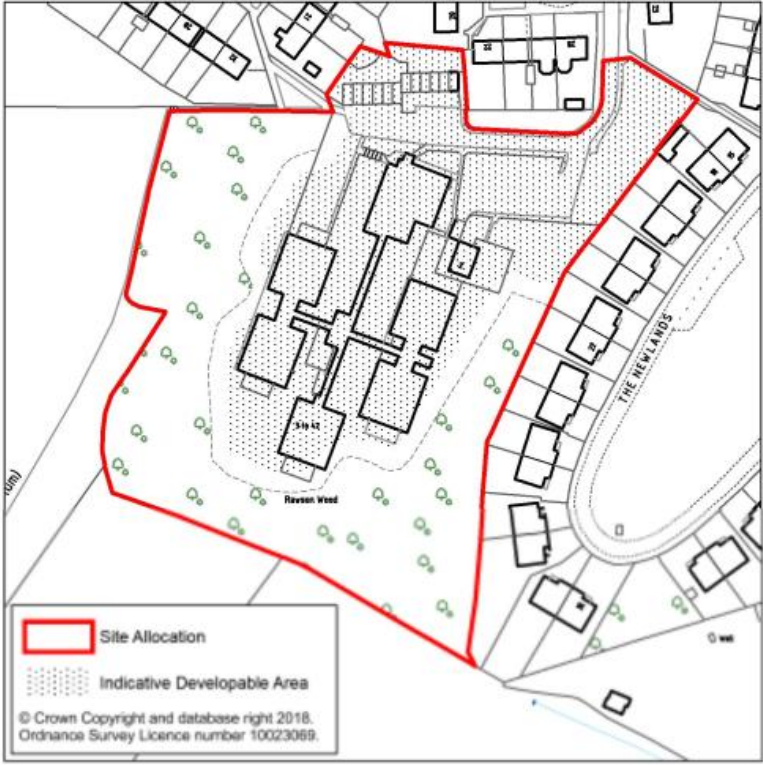
Politt Fields, 8 Ripon House, Sowerby Bridge

Site area (Ha)	1.22	 <p>The map shows a residential area with several streets including Recreation Road, Beech Road, and Wainey Street. A large area is outlined in red, indicating the site allocation. A hatched area within this red boundary indicates the developable area. Other features include 'Works', 'The Towers', 'Superstore', 'Ripon Parish', 'The Old Sowerby Bridge', and 'The Old Sowerby Bridge'. A legend in the bottom left corner identifies the red outline as 'Site Allocation' and the hatched area as 'Developable Area'. Copyright information at the bottom of the map reads: '© Crown Copyright and database right 2022. Ordnance Survey Licence number 10023069.'</p>
Indicative developable site area	1.22	
Indicative density (dph)	21	
Indicative capacity	26	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Loss of open space - Heritage - impact on several Grade II Listed Buildings and Sowerby Bridge Conservation Area - Air quality - near Sowerby Bridge Air Quality Management Area (No. 2) 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment and Travel Plan - Flood Risk Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Consideration to West Yorkshire Low Emission Strategy - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Improvements to other open space in the area should be carried out. These could include facility improvements at Beech Recreation Ground or Crow Wood Park - Site requires masterplanning in accordance with Policy IM7 	

20 Sowerby Bridge Housing Allocations

Site number LP1655

Rawson Wood, Wood Croft, Sowerby, Sowerby Bridge

Site area (Ha)	1.45	 <p>The map shows a site allocation outlined in red, covering an area of 1.45 Ha. The site is located in Rawson Wood, Sowerby, Sowerby Bridge. The map includes a legend for 'Site Allocation' (red outline) and 'Indicative Developable Area' (dotted pattern). The site is situated between 'THE NEWLANDS' road and 'SOWERBY BRIDGE' road. The map also shows existing buildings, trees, and a 'Right of Way' along the western boundary. A legend box at the bottom left of the map contains the following text: '© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.'</p>
Indicative developable site area	0.72	
Indicative density (dph)	42	
Indicative capacity	30	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Lowland mixed deciduous woodland - UK BAP Priority Habitat - Wildlife Habitat Network - Right of Way along western boundary (Sowerby Bridge 100) - Grade II* Listed Field House, Grade II Listed cluster of buildings around Field House, Locally designated Historic Park and Garden (Historic Garden of Field House) - Archaeological Site PRN545 Conjectural line of Roman Road - Site access reducing capacity 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment and Travel Plan - Third party land agreement - Flood Risk Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Parking restrictions may be required on Wood Croft - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Predetermination Archaeological Evaluation - Retention of lowland mixed deciduous woodland on perimeter of the site - Development proposals should include suitable mitigation to compensate for the loss of existing on-site open space 	

21 Todmorden Housing Allocations

Site number LP0053

Land off Key Syke Lane, Kilnhurst, Todmorden

Site area (Ha)	0.37	
Indicative developable site area	0.24	
Indicative density (dph)	46	
Indicative capacity	11	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible land contamination - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Transport Statement, and proposals to upgrade Fir Street in vicinity of site access - Contaminated Land Assessment - Flood Risk Assessment to include consideration of layout and design - Landscape Impact Assessment - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- 10m buffer provided to south, west boundaries to be planted with native trees and shrubs- Minimise light pollution and disturbance onto the canal- Implement bat sensitive lighting scheme- Development proposals should include the creation or enhancement of other open space- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP0635

Land off Fir Street, Walsden

Site area (Ha)	0.93	
Indicative developable site area	0.83	
Indicative density (dph)	45	
Indicative capacity	37	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Possible Land Contamination - Lowland mixed deciduous woodland - UK BAP Priority Habitat - Wildlife Habitat Network - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Transport Assessment, and proposals to upgrade Fir Street in vicinity of site access - Contaminated Land Assessment - Flood Risk Assessment to include consideration of layout and design - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

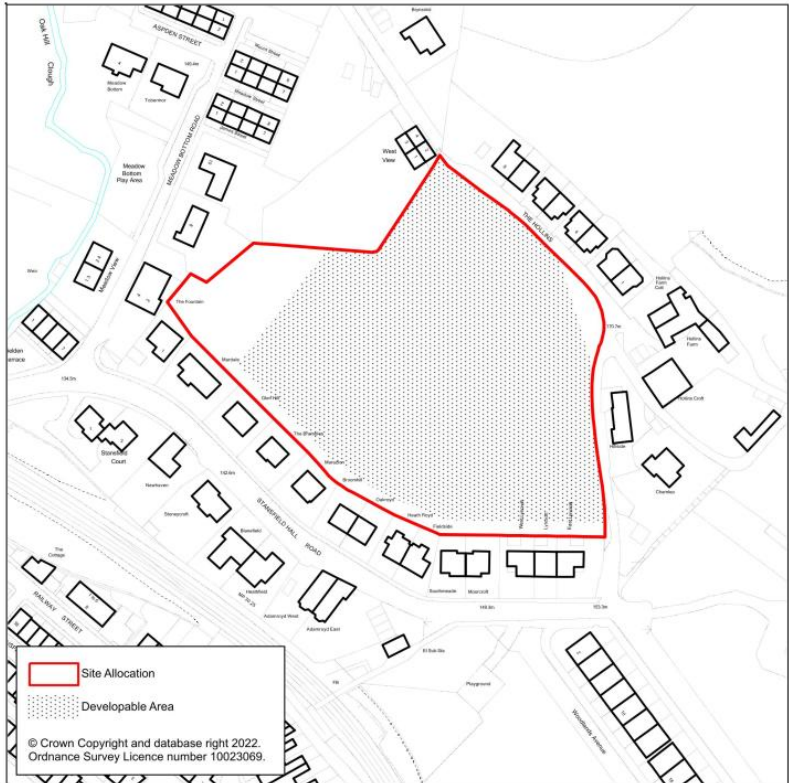
21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS through green and blue infrastructure- 10m buffer to be provided on the west boundary to include felling of existing conifers and replanting with native trees and shrubs- Plant species-rich native hedgerows be provided on north, south and east boundaries- Upgrading of Fir Street to provide a surface to adoptable standard and provision of footpath into the site- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP0640

Land off The Hollins, Stansfield Hall Road, Todmorden

Site area (Ha)	1.32	
Indicative developable site area	1.09	
Indicative density (dph)	30	
Indicative capacity	33	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Pluvial Flood Risk (potential to increase surface water flood risk) - Lowland Mixed Deciduous Woodland - Fountain Public House, Hollins Farmhouse (Grade II Listed Buildings) - Site is within 2.5km of the SPA/SAC - Highway issues - Improvements needed on Victoria Road and the Hollins - Unstable Land 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include: <ul style="list-style-type: none"> - Flood risk hydraulic modelling of Oak Hill Clough - Specific consideration being given to impacts from historic flooding, such as recent flood events in Calderdale - Following a sequential approach to the layout of the site - i.e. locating development in areas of least flood risk - Transport Assessment- detailing pedestrian connectivity and parking on approach roads - Land Stability Report - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

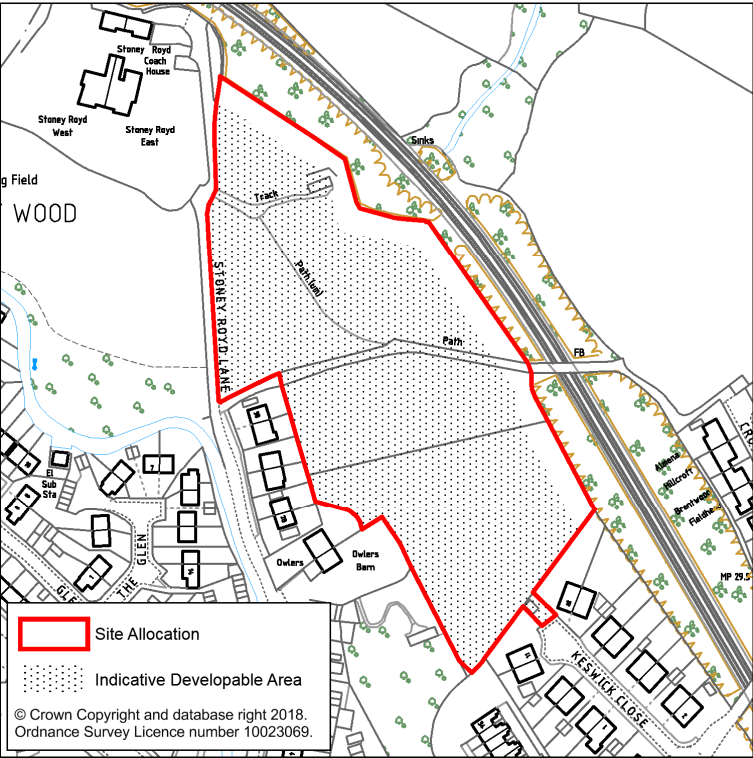
21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- 5m buffer of native shrubs to be planted on the southern boundary- Native trees and shrubs to be planted and non native species removed on the western boundary- Removal of Lowland Mixed Deciduous Woodland from Developable Area- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings- Improvements to Victoria Road and The Hollins- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP0651

Land off Stoney Royd Lane, Todmorden

Site area (Ha)	1.98	
Indicative developable site area	1.72	
Indicative density (dph)	36	
Indicative capacity	62	
Land type	Greenfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Fluvial and Pluvial Flood Risk - Site access requiring significant works - Noise from adjacent railway - Site is within 2.5km of the SPA/SAC - Lowland mixed deciduous woodland - UK BAP Priority Habitat - Rights of Way (Todmorden 094 & 192) 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, including Hydrological Assessment - Transport Assessment and Travel Plan - Feasible layout based on Topographical Survey - Noise Impact assessment - Land Stability Report - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS through green and blue infrastructure, to be managed for biodiversity- Retain mature trees and retain and restore hedgerows- Provision of 10m buffer by boundary trees- Public Right of Way and Historic Rights of Way to be safeguarded- Access to be provided via upgrades to Keswick Close- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP0658

[Cinderhill Mills, Halifax Road, Todmorden](#)

Site area (Ha)	0.50	
Indicative developable site area	0.50	
Indicative density (dph)	44	
Indicative capacity	22	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Highway Constraints - Unstable Land - Possible Contaminated Land - Road Traffic Noise - Pluvial Flood Risk - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Hydrological Assessment - Transport Assessment - Noise Impact assessment - Contaminated Land assessment - Land Stability Report - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP0659

Land rear of 302 Halifax Road, Todmorden

Site area (Ha)	0.61	
Indicative developable site area	0.51	
Indicative density (dph)	33	
Indicative capacity	17	
Land type	Brownfield	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Fluvial and Pluvial Flood Risk - Constrained access due to existing dwellings and topography - Site is within 2.5km of the SPA/SAC - Adjacent to River Calder - UK BAP Priority Habitat - Bats and otters 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment, to include: <ul style="list-style-type: none"> - Flood risk hydraulic modelling - Emergency access and egress plans (to be provided to the LPA for consideration and agreement with the Council's emergency planners) - Specific consideration being given to impacts from historic flooding, such as recent flood events in Calderdale - Specification for sites contained in flood zones 2 and 3 that any more or highly vulnerable uses may not be permitted on the ground floor - Following a sequential approach to the layout of the site – i.e. locating development in areas of least flood risk - Transport Assessment (Access Design and topographical survey) - Ornithological Report informed by surveys undertaken according to “SPA Bird Survey Methodology” by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

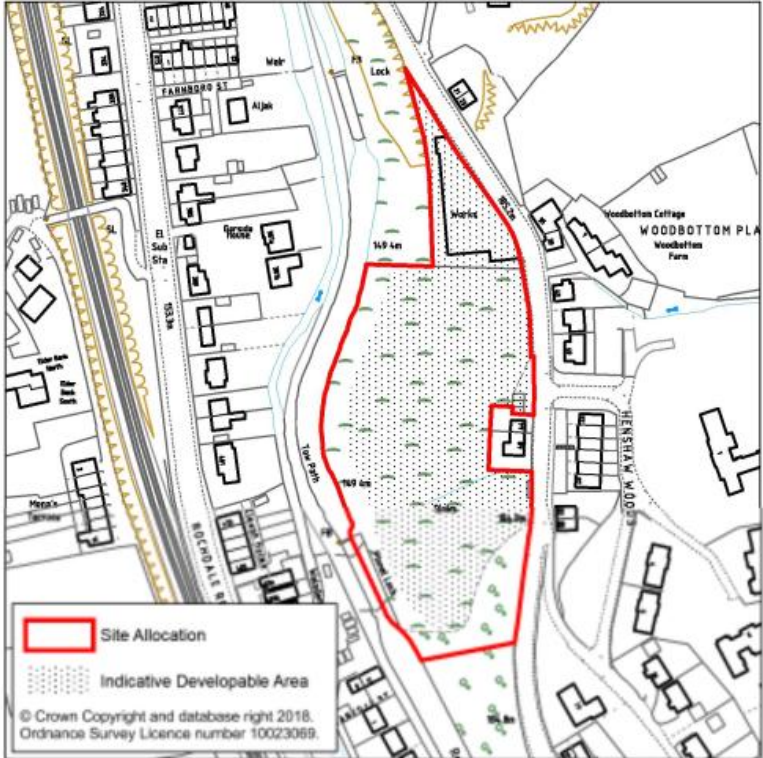
21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of a 10m buffer adjacent to river planted with native trees and shrubs- Prevent disturbance through light spillage- Provision of SuDS through green and blue infrastructure- Consider proximity to the industrial use to the south- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP0914

Land opposite 46-48 Hollins Road, Walsden

Site area (Ha)	1.31	 <p>The map shows a site allocation (red outline) and an indicative developable area (dotted pattern) in Walsden. The site is bounded by Farmhouse St to the north, Hollins Road to the east, and Rochdale Canal to the south. Key features include a canal lock, a sub-station, and several buildings. The map also shows the Rochdale Canal Wildlife Corridor and the Woodbottom Farm area.</p> <p>© Crown Copyright and database right 2018. Ordnance Survey Licence number 10023069.</p>
Indicative developable site area	1.03	
Indicative density (dph)	42	
Indicative capacity	43	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Fluvial and Pluvial Flood Risk. (Walsden Water, Rochdale Canal and Woodbottom Drain) - Highway issues (gradient of the site and circuitous access road alignment required) - Possible land contamination. - Ecological Issues - Rochdale Canal (Wildlife Corridor) - Possible land contamination - Heritage Assets - two listed structures (Canal Lock Gates) - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Assessment - Transport Assessment and Travel Plan - Topographic Survey - Contaminated Land Report - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) 	

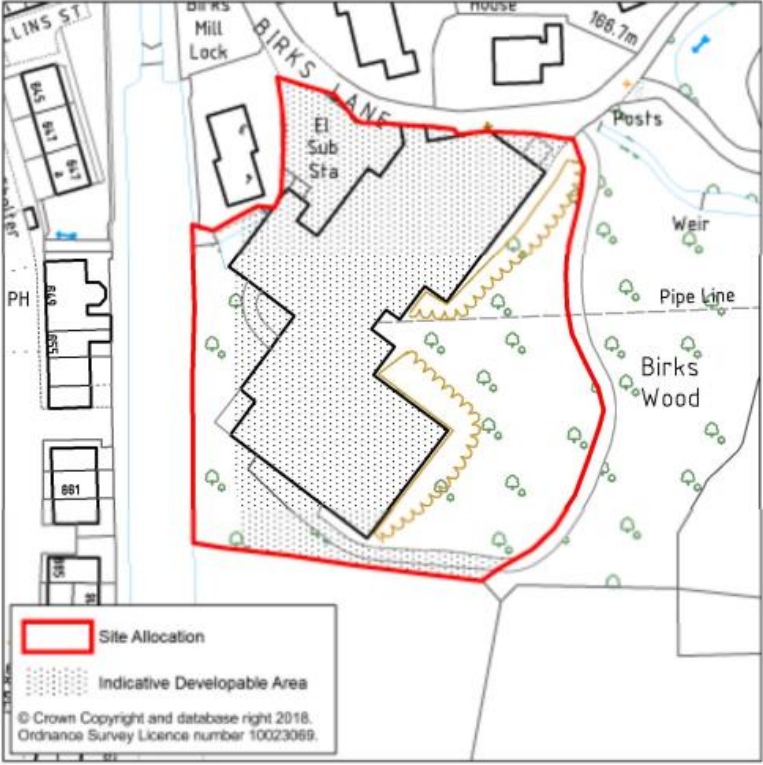
21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none">- Provision of SuDS- Provision of 10m buffer between site and canal which should be planted with native trees and shrubs- Development of the site shall include provision for children- Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings- Ensure that adverse effects on the integrity of the SPA and SAC are avoided- Where likely significant effects have not been ruled out:<ul style="list-style-type: none">- Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate.- Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds- Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds- Monitoring of impacts to assess bird use over time
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21 Todmorden Housing Allocations

Site number LP1534

Birks Mill, Birks Lane, Walsden

Site area (Ha)	0.71	 <p>The map shows a site allocation outlined in red, situated along Birks Lane. To the west of the site are buildings numbered 605, 611, 612, 613, 614, and 615. A public house (PH) is also shown. To the east of the site is Birks Wood. Other features include Birks Mill Lock, Birks House, a substation (El Sub Sta), a weir, a pipe line, and a watercourse. A legend indicates that the red outline represents the 'Site Allocation' and the dotted area represents the 'Indicative Developable Area'. The map is credited to Ordnance Survey, 2018, with licence number 10023069.</p>
Indicative developable site area	0.40	
Indicative density (dph)	45	
Indicative capacity	18	
Land type	Mixed	
Ownership	Private	
Constraints	<ul style="list-style-type: none"> - Fluvial (Walsden Water) and Pluvial Flood Risk - Unstable Land - Possible Land Contamination - Ecological Issues - Lowland mixed deciduous woodland (UK BAP Priority habitat), Rochdale Canal and specific species such as otters, bats and birds - Birks Mill and Birks House - non designated heritage asset - Grade II Listed Bridge over Rochdale Canal and Grade II Rochdale Canal Lock 28: Birks Mill Lock - Site is located within a groundwater Source Protection Zone 1 (SPZ1) for groundwater abstraction that is used for drinking water needs - Site is within 2.5km of the SPA/SAC 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Hydrological Assessment - Hydrogeological (groundwater) Risk Assessment that identifies potential risks to groundwater from the development and identifies mitigation measures - Transport Assessment - Bat and otter surveys - Ornithological Report informed by surveys undertaken according to "SPA Bird Survey Methodology" by West Yorkshire Ecology - Ecological Impact Assessment to include a detailed assessment of the impacts on SPA/SAC - Habitats Regulations Assessment (HRA) - Land Stability Report - Land Contamination Assessment - Landscape Impact Assessment 	

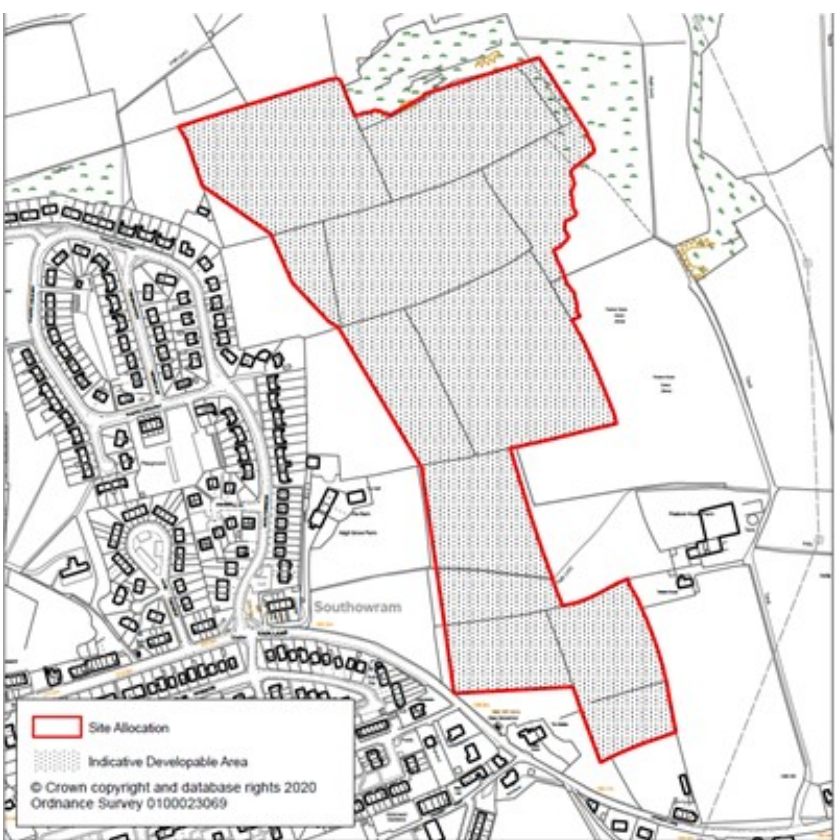
21 Todmorden Housing Allocations

Site Specific Considerations	<ul style="list-style-type: none"> - Provision of SuDS - Signage would be needed at the bridge over Birks Mill Lock to give priority to traffic approaching the site from the A6033 - Native tree and shrub planting in area outside developable area - Bat sensitive lighting scheme - Provision of a 10m buffer between site and canal which should be planted with native trees and shrubs - Removal of lowland mixed deciduous woodland (UK BAP Priority habitat) from developable area - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Careful consideration will be required in terms of the relationship of new development to the canal, together with scale, layout, design and materials - Implementation of mitigation measures identified in the hydrogeological (groundwater) risk assessment. - Ensure that adverse effects on the integrity of the SPA and SAC are avoided - Where likely significant effects have not been ruled out: <ul style="list-style-type: none"> - Appropriate avoidance and/or mitigation measures to address any identified impacts from the Ecological Impact Assessment in line with GN3 including mitigation for recreational disturbance through the provision of appropriate recreational green space where appropriate. - Provision of equivalent or greater quantity and quality of replacement habitat on-site (or as a last resort off-site within 2.5km) with improved management to ensure use by SPA birds - Timing of works (construction, operation and decommissioning) outside the period most frequently used by SPA birds - Monitoring of impacts to assess bird use over time
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22 Minerals Sites

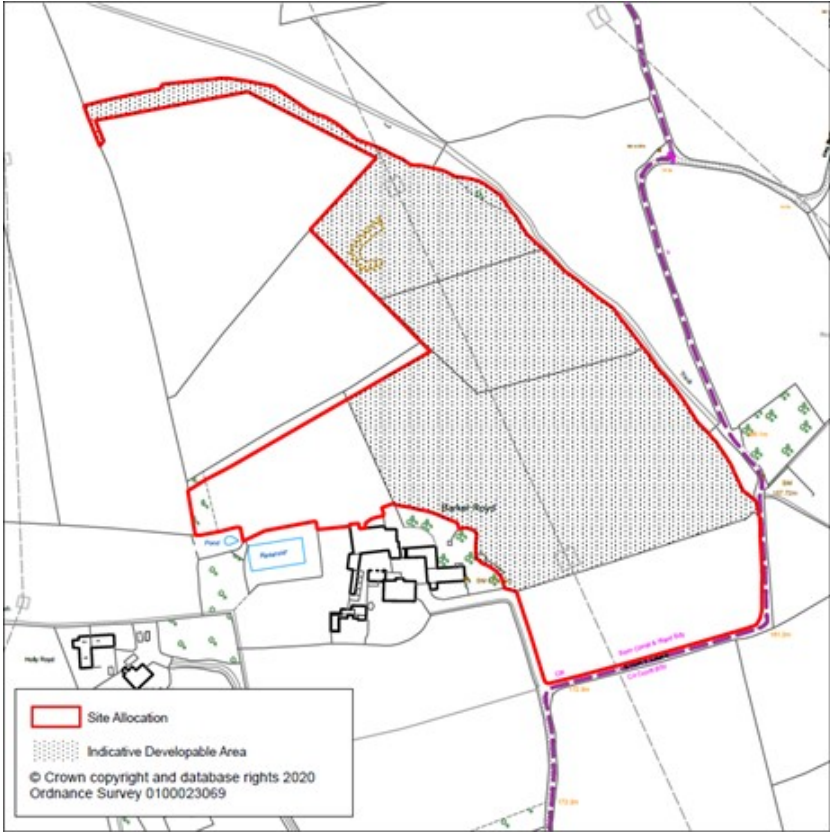
Site number MLP29

Pasture House Quarry Site A

Site area (Ha)	11.1	 <p>The map shows a residential area on the left and a quarry site on the right. The quarry site is outlined in red and filled with a grey stippled pattern. A legend in the bottom left of the map indicates that the red outline represents 'Site Allocation' and the grey stippled area represents 'Indicative Developable Area'. The map also shows roads, buildings, and green spaces. Text on the map includes 'Southowram' and '© Crown copyright and database rights 2020 Ordnance Survey 0100023069'.</p>
Indicative Developable Area	11.1	
Constraints	<ul style="list-style-type: none"> - Green Belt - Site overlies Grade 4 agricultural land - Proximity of residential properties - Historic assets - Public Rights of Way 	
Reports required	<ul style="list-style-type: none"> - Heritage Statement - Landscape Impact Assessment - Noise Report - Dust Report - Restoration Strategy - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Ensure that where working impacts on Public Rights of Way Brighouse 29 and Brighouse 37 appropriate diversions are put in place - Implementation of measures to mitigate impacts on any nearby residential properties 	

Site number MLP30

Pasture House Quarry Site B

Site area (Ha)	4.5	 <p>The map shows a site allocation outlined in red, covering an area of 4.5 Ha. Within this allocation, a portion is designated as an 'Indicative Developable Area' (hatched pattern), covering 2.25 Ha. The site is located near residential properties and a public right of way. A legend in the bottom left of the map identifies the red outline as 'Site Allocation' and the hatched area as 'Indicative Developable Area'. Copyright information for Ordnance Survey 2020 is also present.</p>
Indicative Developable Area	2.25	
Constraints	<ul style="list-style-type: none"> - Green Belt - Site overlies Grade 4 agricultural land - Proximity of residential properties - Historic assets - Public Rights of Way 	
Reports required	<ul style="list-style-type: none"> - Heritage Statement - Landscape Impact Assessment - Noise Report - Dust Report - Restoration Strategy - Transport Statement 	
Site Specific Considerations	<ul style="list-style-type: none"> - Implementation of the recommendations provided in the Heritage Impact Assessment or other suitable mitigation measures agreed by the Local Planning Authority to avoid or minimise the impact on the significance of heritage assets and their settings - Ensure the mineral workings do not restrict the Brighthouse 036 and 037 Public Rights of Way that run along the southern and eastern boundary of the site - Implementation of measures to mitigate impacts on any nearby residential properties 	

23 Waste Sites

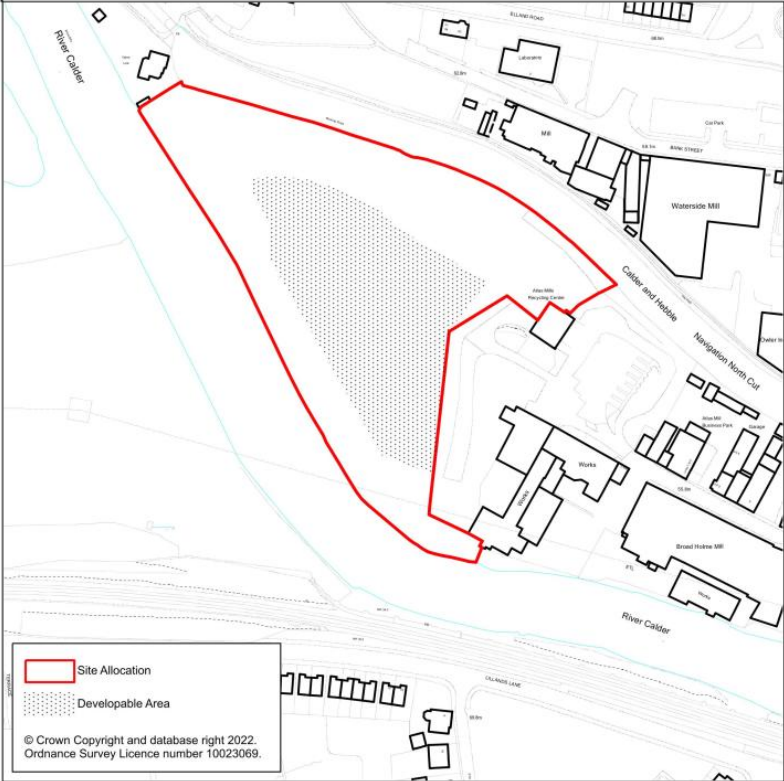
Site number W1

Bacup Road, Sharneyford, Todmorden

Site area (Ha)	3.15	
Indicative developable site area	1.48	
Constraints	<ul style="list-style-type: none"> - Special Landscape Area - Area Around Todmorden - Calderdale Wildlife Habitat Network - Local Geological Site 	
Reports required	<ul style="list-style-type: none"> - Landscape Impact Assessment - Ecological Impact Assessment - Geological Impact Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Native trees and shrubs to be planted along the northern and western boundary. 	

Site number W2

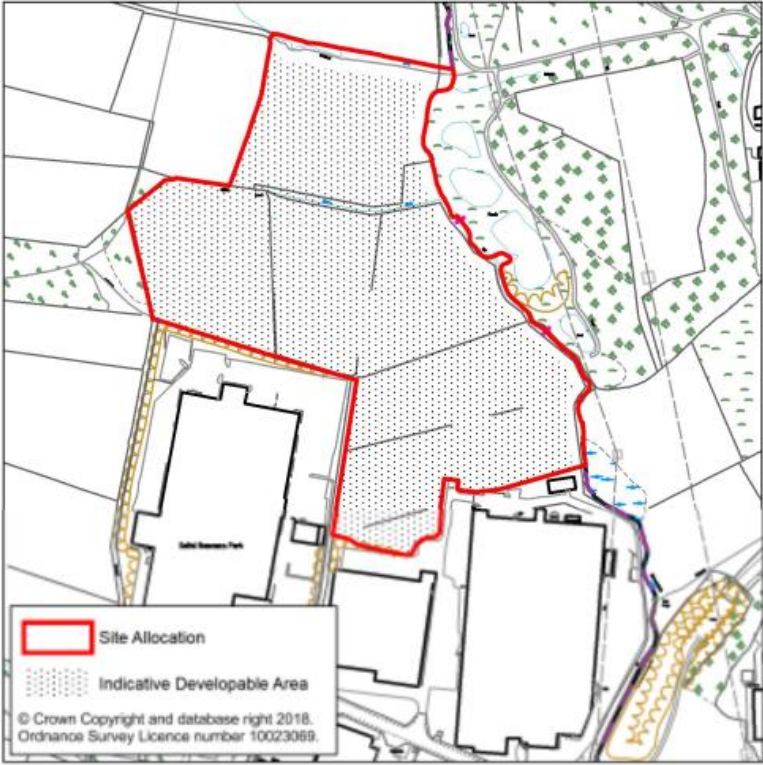
Atlas Mill Road

Site area (Ha)	2.08	
Indicative developable site area	0.80	
Constraints	<ul style="list-style-type: none"> - Local Wildlife site Calder and Hebble Navigation to the north of the site - Flood Risk - Ganny Lock - Grade II - Potential contaminated land 	
Reports required	<ul style="list-style-type: none"> - Flood Risk Assessment - Heritage Impact Assessment - Ecological Impact Assessment - Transport Assessment - Protected Species Survey - Contaminated land survey 	
Site Specific Considerations	<ul style="list-style-type: none"> - Retention of existing Tree Belt surrounding developable area to mitigate heritage impact - Implement 10m buffer zone between developable area and the tree belt - Access road is within Flood Risk Zone 3 	

23 Waste Sites

Site number W3

North of Holmfield Industrial Estate (part of New Employment Site LP1219)

Site area (Ha)	6.85	 <p>The map shows a site allocation outlined in red, covering an area of 6.85 Ha. A portion of this site is designated as an 'Indicative Developable Area', shown with a dotted pattern. The site is located north of the Holmfield Industrial Estate. The map includes a legend with a red box for 'Site Allocation' and a dotted box for 'Indicative Developable Area'. It also contains the text: '© Crown Copyright and database right 2018. Ordnance Survey Licence number 100230669.'</p>
Indicative developable site area	Site W3 is proposed as a New Employment Site - Site number LP1219 'North of Holmfield Industrial Estate, Holmfield Industrial Estate, Halifax'. It is expected that a waste facility would only occupy part of the site, and not the entire site.	
Constraints	<ul style="list-style-type: none"> - Access dependent of adjacent site development - Potential surface water and pluvial flooding - UK BAP Priority Habitat 	
Reports Required	<ul style="list-style-type: none"> - Flood Risk Assessment - Site Investigation (Flooding) - Habitat Regulations Assessment - Transport Assessment 	
Site Specific Considerations	<ul style="list-style-type: none"> - Comprehensive planning of design and layout required with other development sites - Possible provision of SuDS - Defence line of the water courses and flood resilience & resistance - Provide a minimum stand off from the Strines beck of 10m. Augment the habitat corridor by including flood water attenuation wetlands linked to the beck corridor with invert levels set to retain at least 100mm of water. Plant with rich fen habitat. - Site requires masterplanning in accordance with Policy IM7 	

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If you would like this information in another format or language, please contact:

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ভাষায় চান, অনুগ্রহ করে যোগাযোগ করুন:

اگر آپ یہ معلومات کسی دوسرے فارمیٹ

یا زبان میں چاہتے ہیں تو براہ کرم رابطہ کریں

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